

CERTIFICATE OF APPROPRIATENESS

Application Date: March 4, 2015

Applicant: Justin Wood, DLR for Andres Villasenor, owner

Property: 221 W 13th Street, Tracts 13B 7 14B, Block 172, Houston Heights Subdivision. The property includes a new 2,440 square foot, two-story wood frame single-family residence situated on a 4,400 square foot (44' x 100') corner lot.

Significance: Noncontributing new residence, constructed circa 2008, located in the Houston Heights Historic District West.

Proposal: New Construction – Construct a rear detached two-story garage. The garage will measure 19' wide, 20' deep and 25' to the ridge.

See enclosed application materials and detailed project description on p. 5-16 for further details.

Public Comment: No public comment received at this time.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

APPROVAL CRITERIA

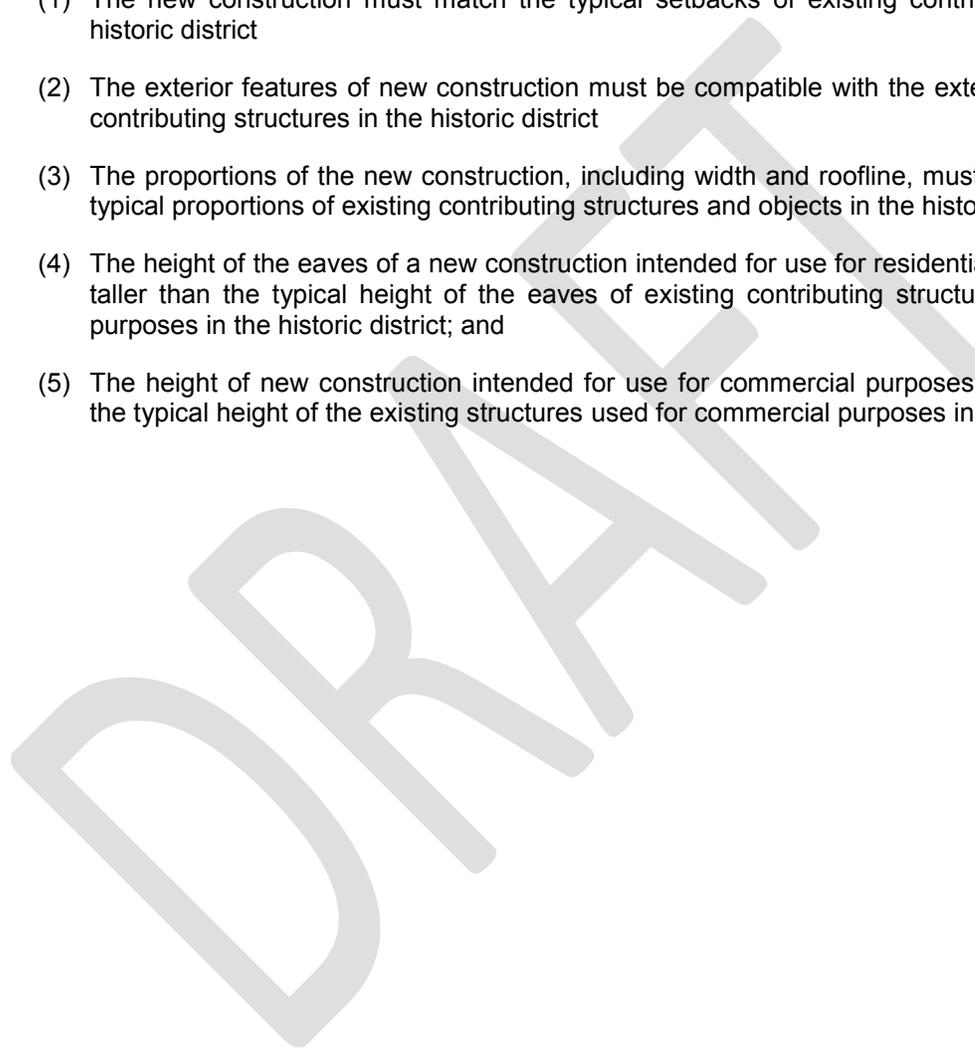
NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242: HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The new construction must match the typical setbacks of existing contributing structures in the historic district
- (2) The exterior features of new construction must be compatible with the exterior features of existing contributing structures in the historic district
- (3) The proportions of the new construction, including width and roofline, must be compatible with the typical proportions of existing contributing structures and objects in the historic district
- (4) The height of the eaves of a new construction intended for use for residential purposes must not be taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
- (5) The height of new construction intended for use for commercial purposes must not be taller than the typical height of the existing structures used for commercial purposes in the historic district.





PROPERTY LOCATION
HOUSTON HEIGHTS HISTORIC DISTRICT WEST

Building Classification

- Contributing
- Non-Contributing
- Park



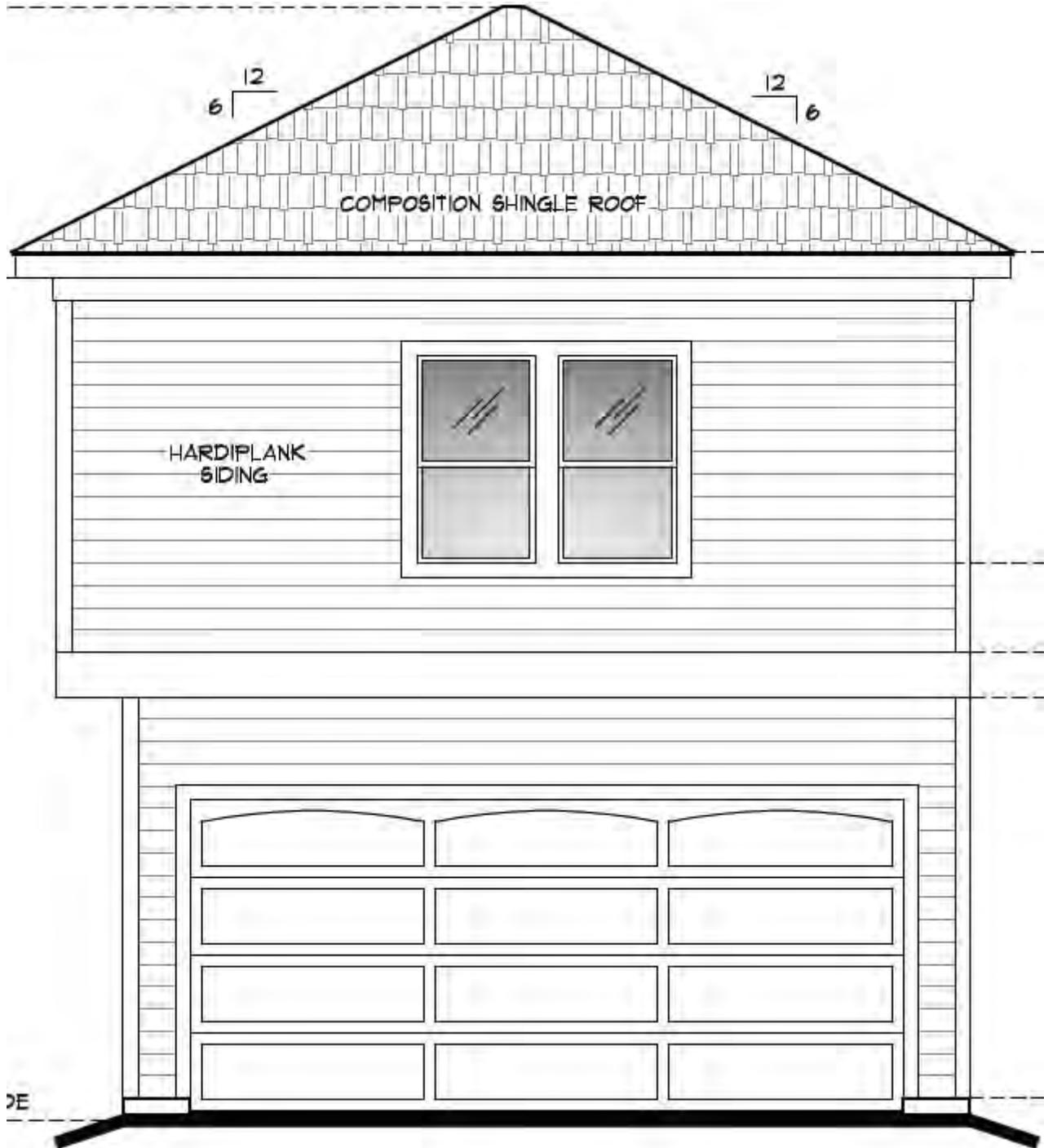
221 W 13th St

CURRENT PHOTO



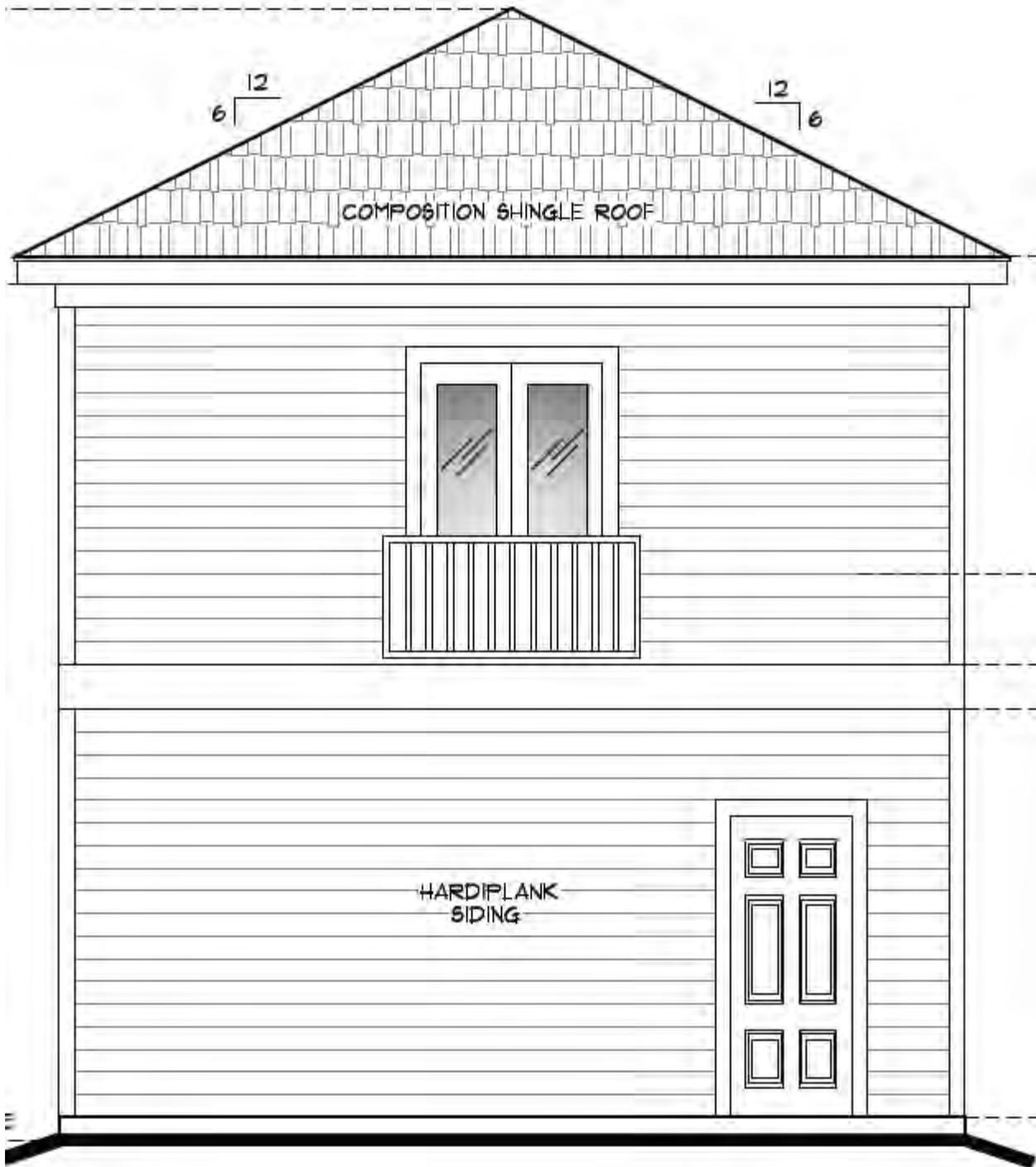
SOUTH ELEVATION – FRONT FACING W 13TH STREET

PROPOSED



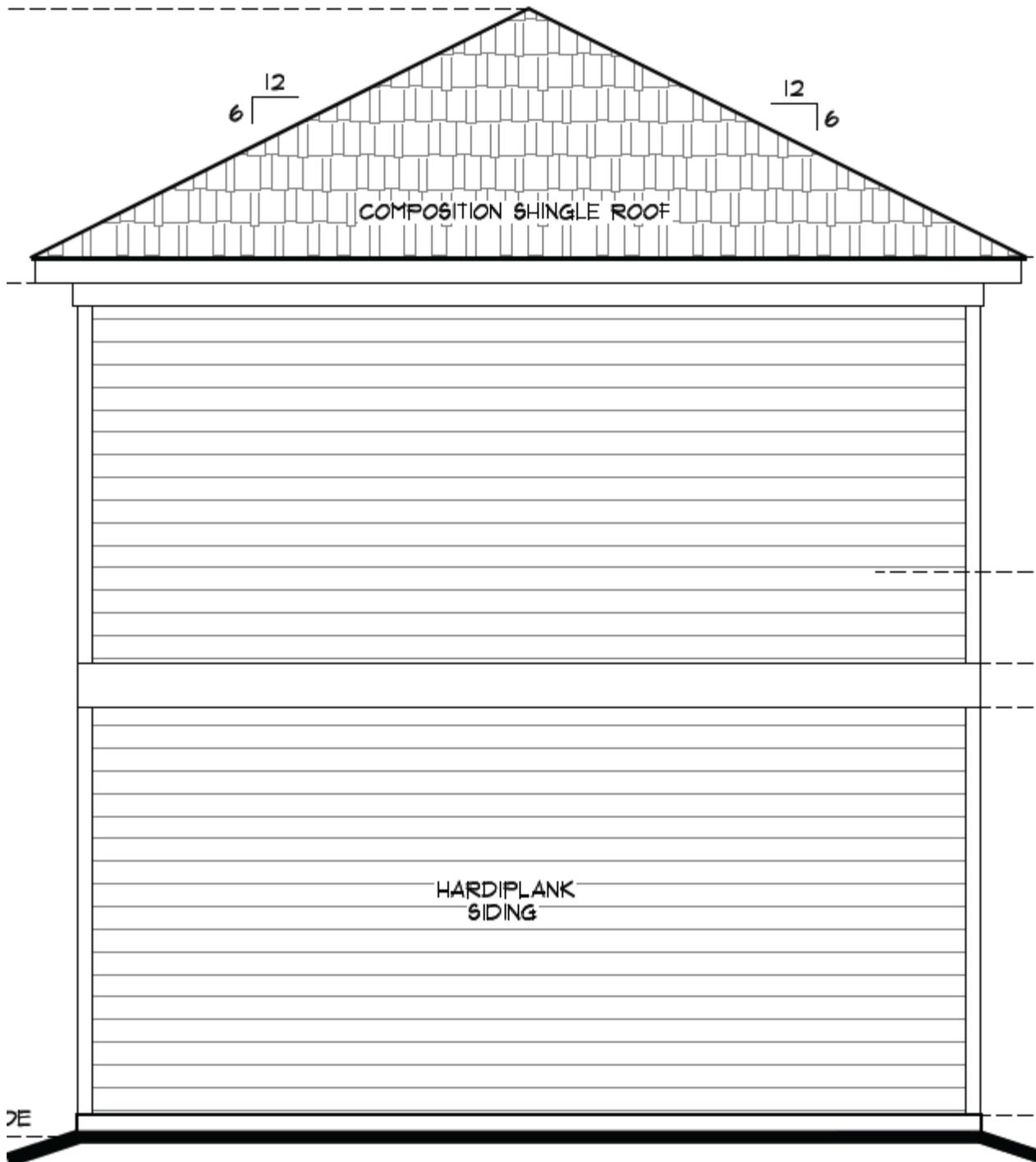
WEST SIDE ELEVATION FACING ALLSTON STREET

PROPOSED



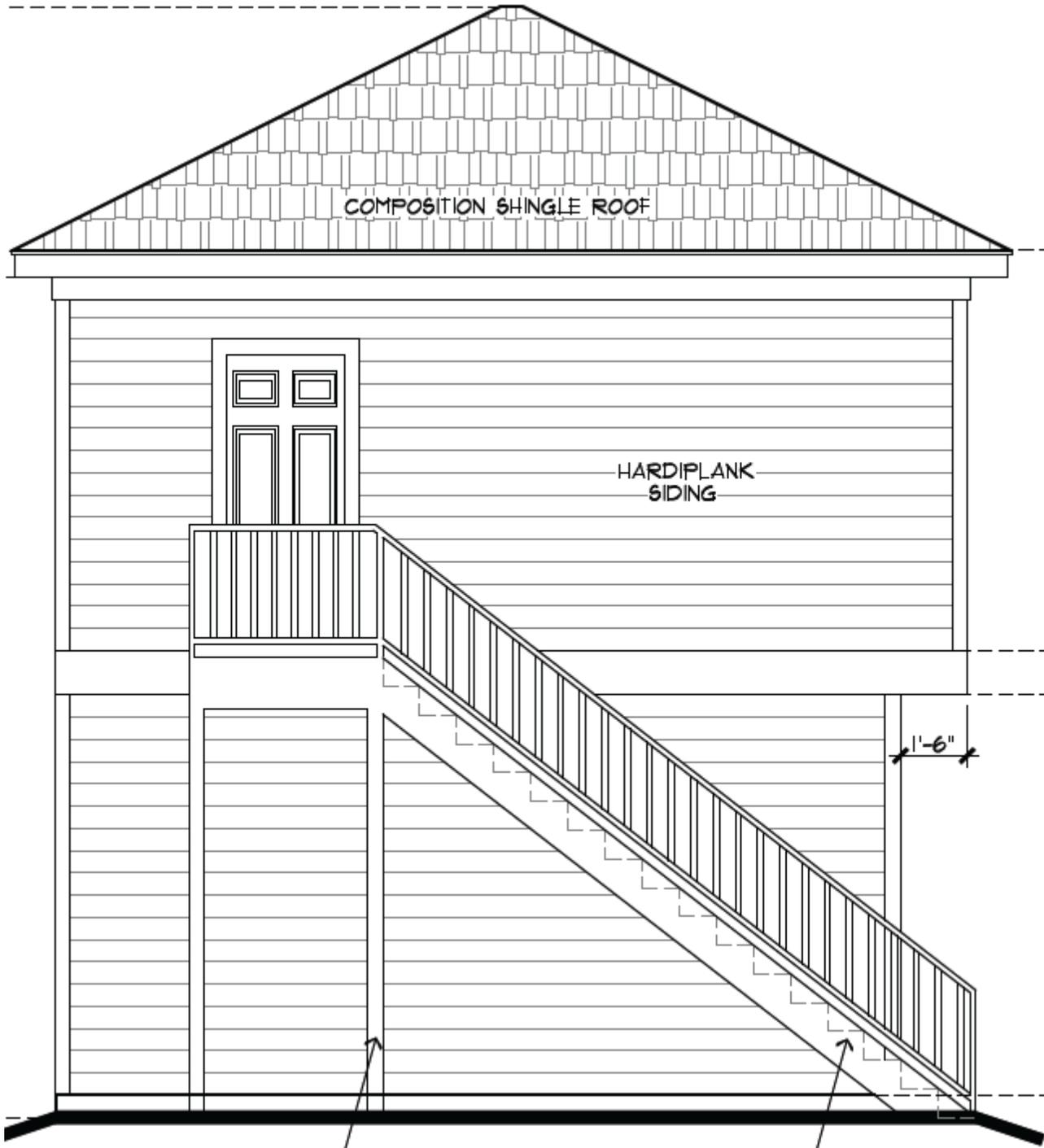
EAST SIDE ELEVATION

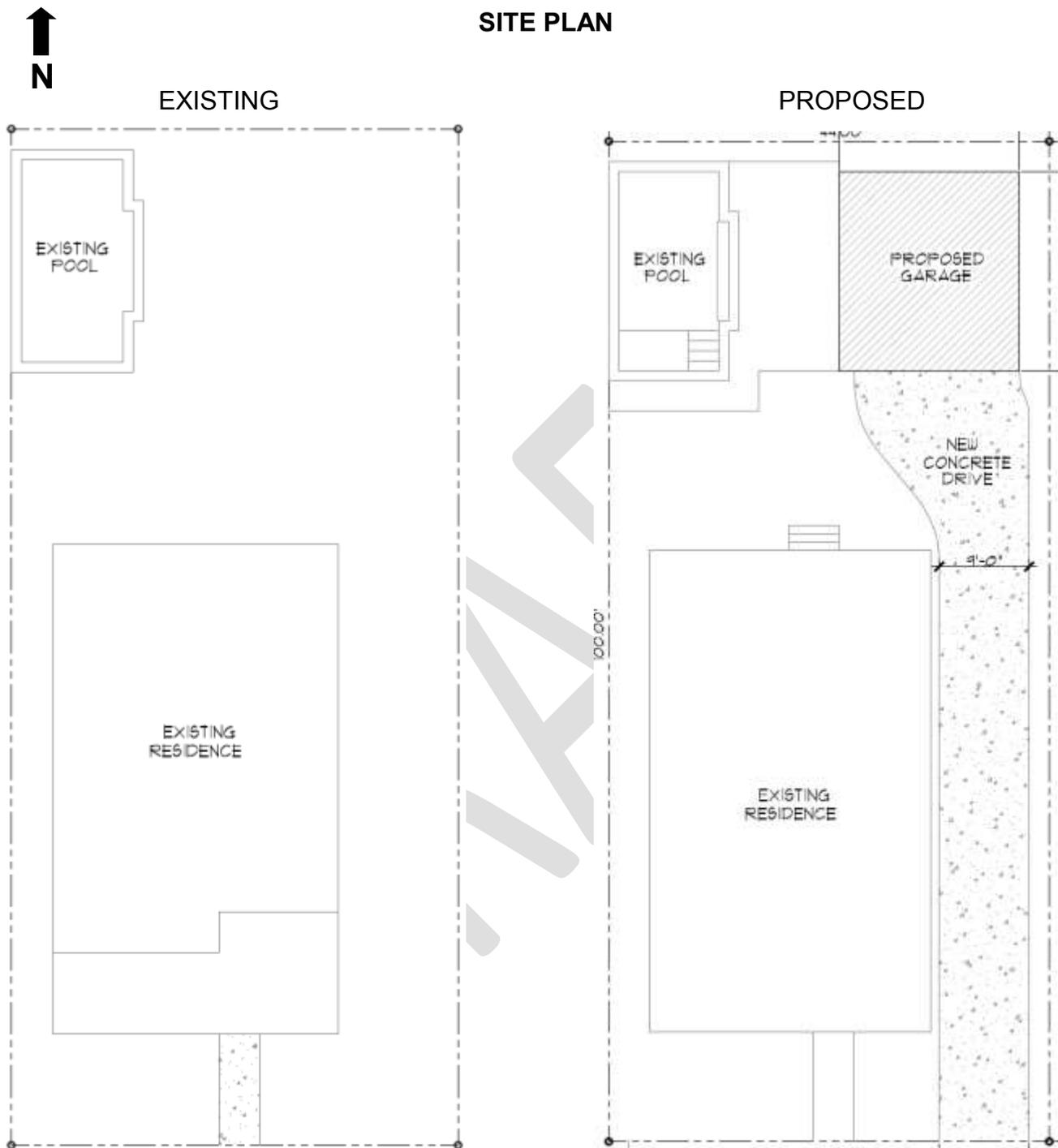
PROPOSED



NORTH (REAR) ELEVATION

PROPOSED

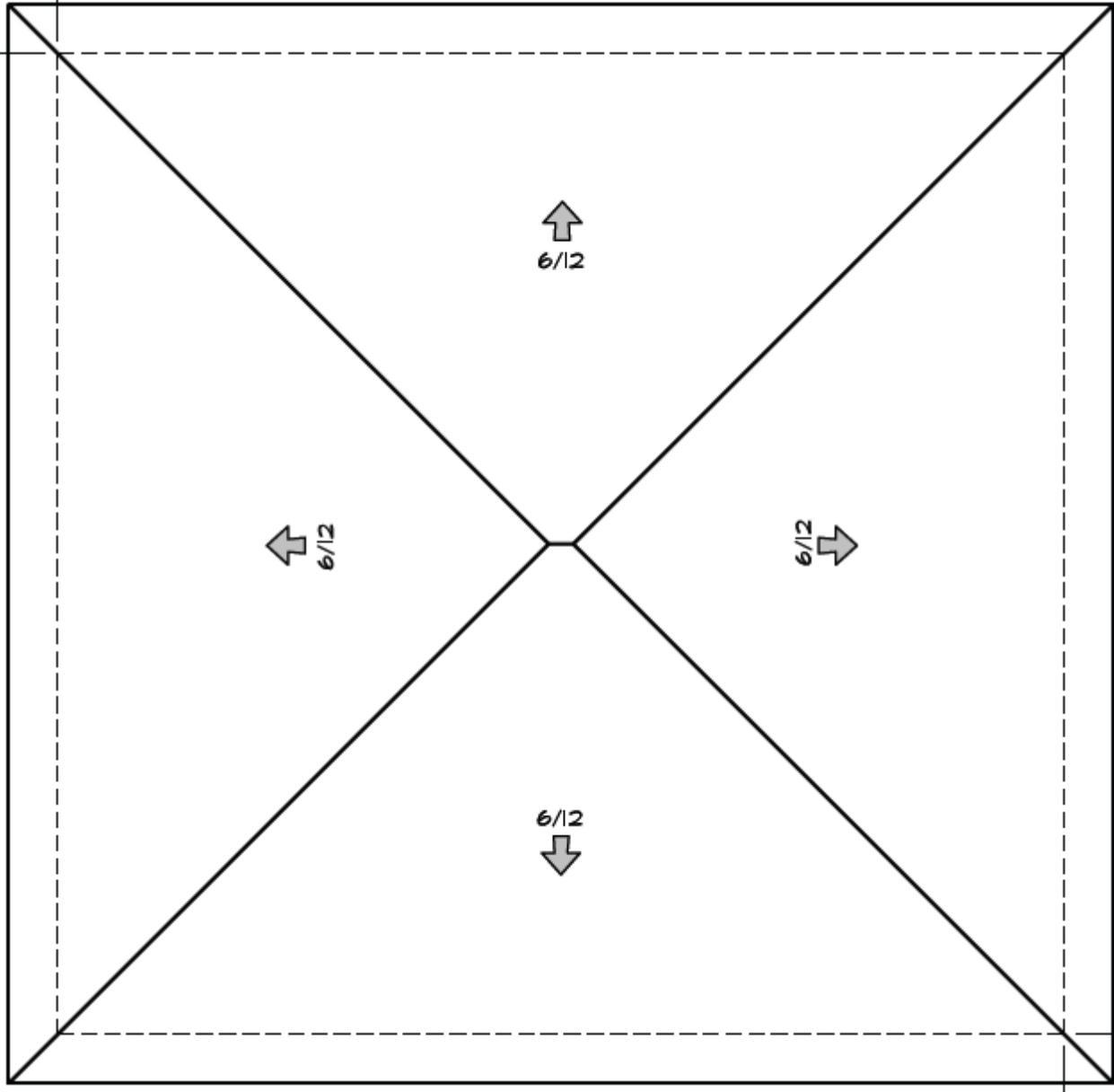






ROOF PLAN

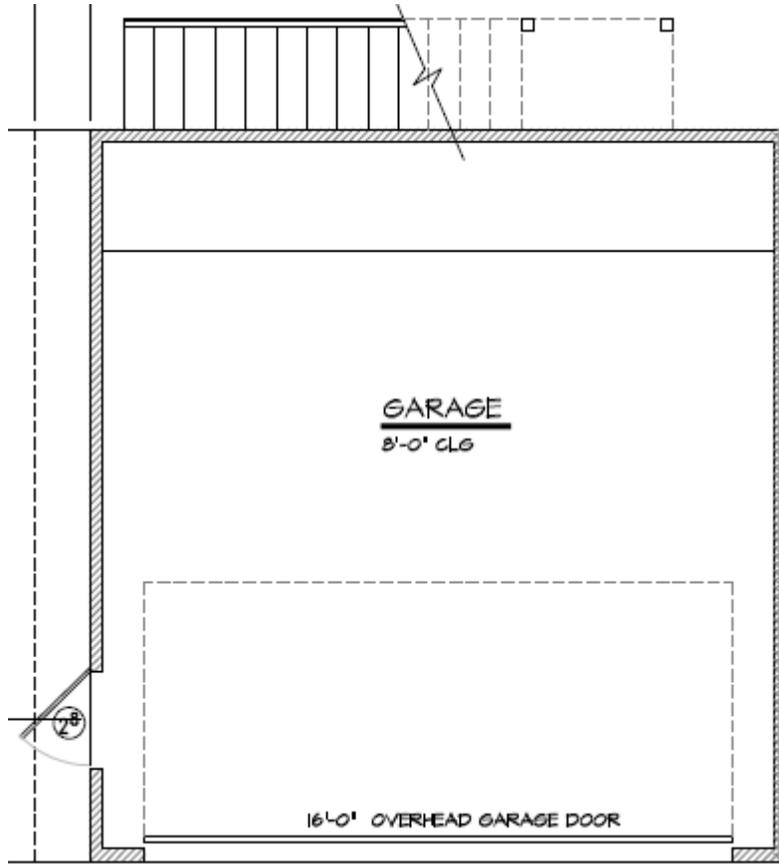
PROPOSED





FIRST FLOOR PLAN

PROPOSED

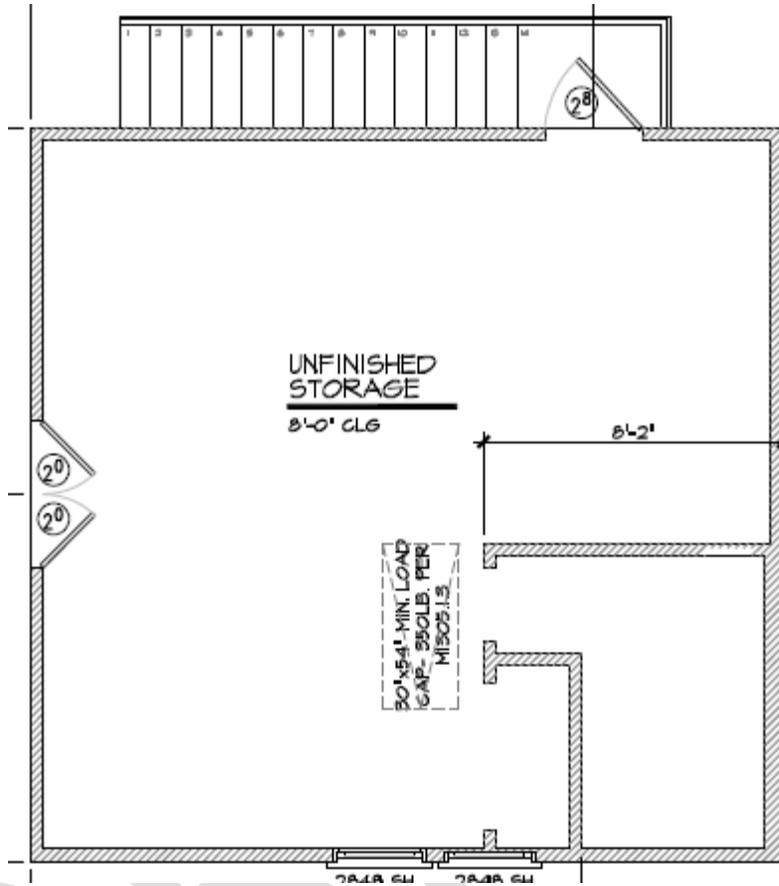


DRAFT



SECOND FLOOR PLAN

PROPOSED



PHOTOS SUBMITTED BY APPLICANT

SOUTH (FRONT) ELEVATION OF RESIDENCE



NORTHWEST CORNER OF RESIDENCE



DR

SOUTHWEST CORNER OF RESIDENCE



PROJECT DETAILS

Shape/Mass: The garage will measure 20', 19' wide on the first floor, and 20'-6" wide on the second floor. The garage will have an eave height of 18'-10³/₄" and a ridge height of 24'-11³/₄".

Setbacks: The garage will be setback 77' from the front property line, 3' from the east side property line, 23' from the west side property line, and 3' from the rear property line.

Foundation: The garage will be constructed on a slab foundation.

Windows/Doors: The garage will feature wood 1-over-1 sash windows, paneled entry doors, single lite french doors, and a sectional overhead garage door.

Exterior Materials: The garage will be clad with 8" smooth finish cementitious horizontal lap siding. The garage will feature 3/4" cementitious trim. The garage will feature exterior steel stairs.

Roof: The garage will feature a 6/12 hip roof with a 1' overhang and will be clad with composite shingles.

Front Elevation: Please see elevation drawings on pg.5
(South)

Side Elevation: Please see elevation drawings on pg.6
(West)

Side Elevation: Please see elevation drawings on pg.7
(East)

Rear Elevation: Please see elevation drawings on pg.8
(North)