

CERTIFICATE OF APPROPRIATENESS

Application Date: July 10, 2014

Applicant: Mario Campos, Campos International, LLC, for Gary Nguyen, owner

Property: 715 Henderson Street, Tract 7, Block 407, Baker WR NSBB Subdivision. The property includes a historic one-story wood clad storefront commercial building situated on a 4,000 square foot corner lot.

Significance: Contributing storefront commercial building, constructed circa 1935, located in the Old Sixth Ward Historic District.

Proposal: Alteration – Install a new round sign above the contributing corner store canopy facing Henderson Street. Sign is a back-lit, four foot diameter acrylic box with vinyl paint.

See enclosed application materials and detailed project description on p. 4-9 for further details.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Denial - does not satisfy criteria

HAHC Action: -



PROPERTY LOCATION
OLD SIXTH WARD HISTORIC DISTRICT

Building Classification

- Contributing
- Non-Contributing
- Park



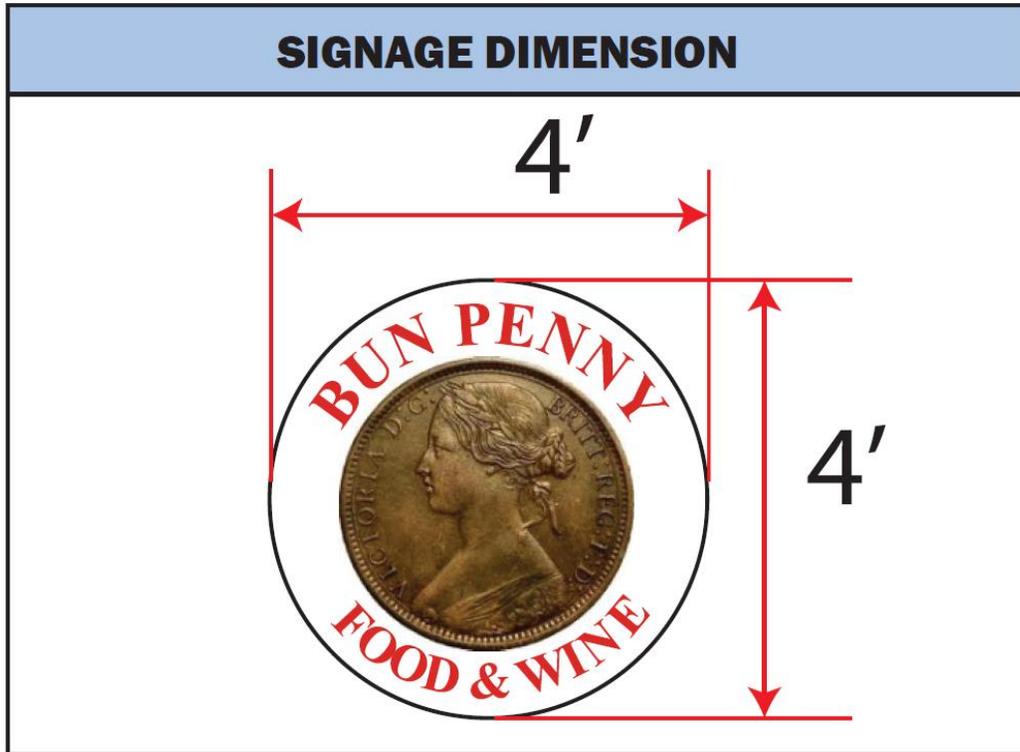
INVENTORY PHOTO



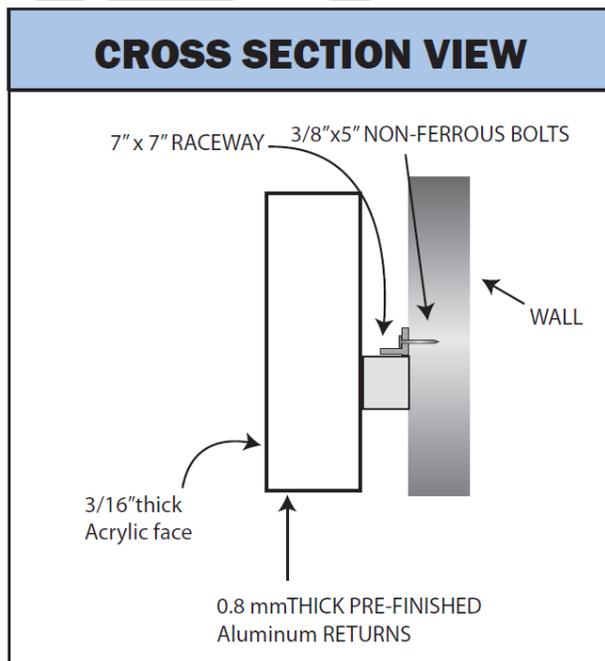
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SIGN DETAILS - DESIGN

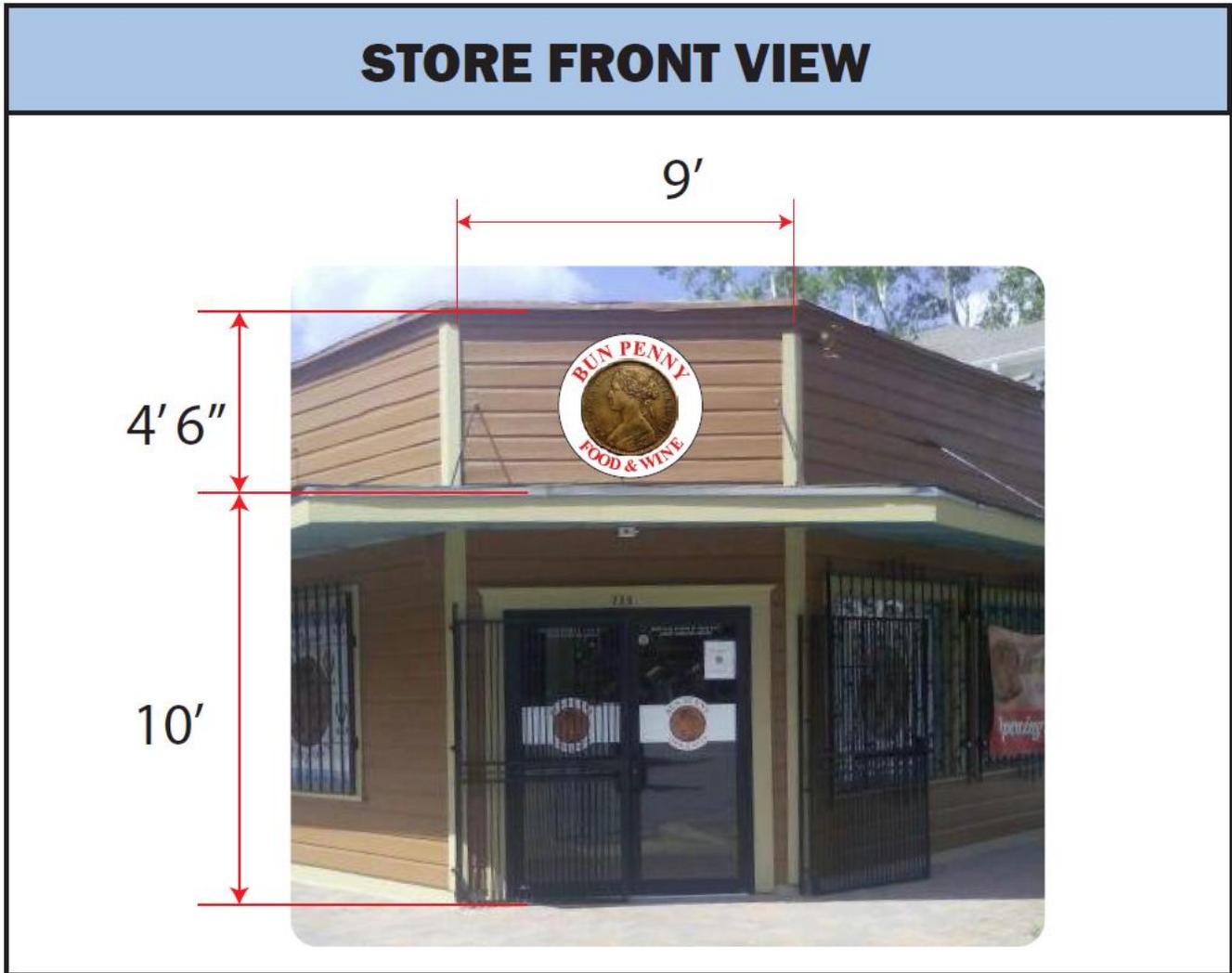
PROPOSED



ADDITIONAL SIGN DETAILS



ADDITIONAL SIGN DETAILS



SUPPLEMENTAL INFORMATION

DESIGN GUIDELINES FOR THE OLD SIXTH WARD PROTECTED HISTORIC DISTRICT

C. Language Conventions

1. Provisions activated by certain auxiliary verbs are to be read as follows:
 - a. *Shall* indicates a mandatory provision.
 - b. *Should* indicates a recommended provision.
 - c. *May* indicates an optional provision.
2. Certain terms may be abbreviated as follows:
 - a. *Director* means the Director of the Department of Planning and Development.
 - b. *District* means the Old Sixth Ward Protected Historic District.
 - c. *HAHC* means the Houston Archaeological and Historical Commission.
 - d. *Houston Code* means the City of Houston Code of Ordinances.

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D. Signage

While Old Sixth Ward is predominantly residential in character, there are a few small scale commercial buildings in the District. There are also instances of residential structures that have been converted to a small office or other commercial uses. The following provides a guideline to types of signs that would be considered appropriate.

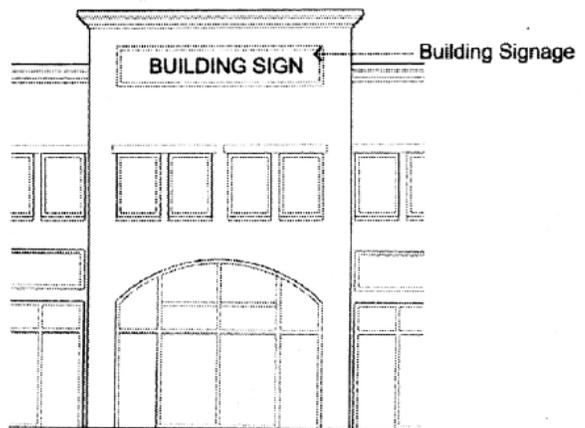
1. General Provisions: Signage within the District should be designed and painted in a manner to respect the historic character of the buildings and the neighborhood. The signs should be:
 - a. Appropriate in size and scale.
 - b. Constructed of high quality materials and craftsmanship.
 - c. Located in a logical place on the building or in the front yard, and should not obstruct key elements or details of the building.
 - d. In a style that is compatible with the character of the services or merchandise.
 - e. (If lighted) Illuminated indirectly and using an external light source.

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Recommendations for specific sign types are as follows:

- a. Building Signage: The developer of a building may give the building a name, or the major tenant of the building may place its name on the building, according to the following specifications:
 - 1) Placement:
 - (a) Sign should be placed near the top of the building.
 - (b) Sign should be placed above upper floor windows.
 - (c) Sign is to be mounted directly on the wall surface, and the background must be the building wall.
 - (d) Sign must face a public street.
 - (e) Signage may be placed on a maximum of two building sides.
 - (f) Signs may be cut or carved.
 - (g) No roof signs are permitted.
 - 2) Dimensions:
 - (a) A maximum of 20 square feet for each sign is permitted.
 - (b) Lettering may be a maximum of 16".
 - (c) Sign may include a logo, which will be counted toward total square feet.
 - 3) Letter materials:
 - (a) Sign may be metal, stone, wood, paint, carved, or plaster. No plastic letters are permitted.

- 4) Lighting:
 - (a) Front-lit signs (illuminated by an external light source) are acceptable. No backlit or channel cut lighting permitted.
- 5) Other provisions:
 - (a) No neon signs are permitted.
 - (b) Signs shall be static; no rotating, electronic, or digital signs are appropriate.
 - (c) Inclusion of a numerical date is optional.



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PROJECT DETAILS

Shape/Mass: The proposed round building sign is 4' in diameter.

The sign will be installed above the existing canopy approximately 10' up from the sidewalk. See drawings and photos for more detail.

Exterior Materials: The proposed sign will feature the words 'BUN PENNY FOOD & WINE' along with a logo comprised of a British penny featuring Queen Victoria's likeness. The image will be created with vinyl paint. The sign will consist of a 3/16" acrylic face set in a .88 mm thick 5" deep prefinished aluminum return. The sign will extend from the face of the building 7", and will be fastened to the wall with 3/8"x5" nonferrous bolts. The sign will be lit from the interior with LED lights. See drawings for more detail.

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