

CERTIFICATE OF APPROPRIATENESS

Application Date: March 4, 2015

Applicant: Keynan Dutton, Hart Custom Homes for Emmanuella Cole, owner

Property: 1107 Tulane, Lot 15, Tract 14, Block 205, Houston Heights Subdivision. The property includes a historic 903 square foot, one-story wood frame single-family residence and detached garage situated on a 6,600 square foot (50' x 132') interior lot.

Significance: Contributing Hipped Bungalow residence, constructed circa 1928, located in the Houston Heights Historic District West.

Proposal: New Construction – Construct a rear detached two-story garage. The garage will measure 40' wide, 23'-6" deep, 16'-10" to the eave, and 27'-6" to the ridge. The garage will feature three gable dormers on the front elevation and stacked stone foundation skirting.

See enclosed application materials and detailed project description on p. 5-20 for further details.

Public Comment: No public comment received at this time.

Civic Association: No comment received.

Recommendation: **Approval with conditions: That stacked stone foundation skirting on the front elevation be removed.**

HAHC Action: -

APPROVAL CRITERIA

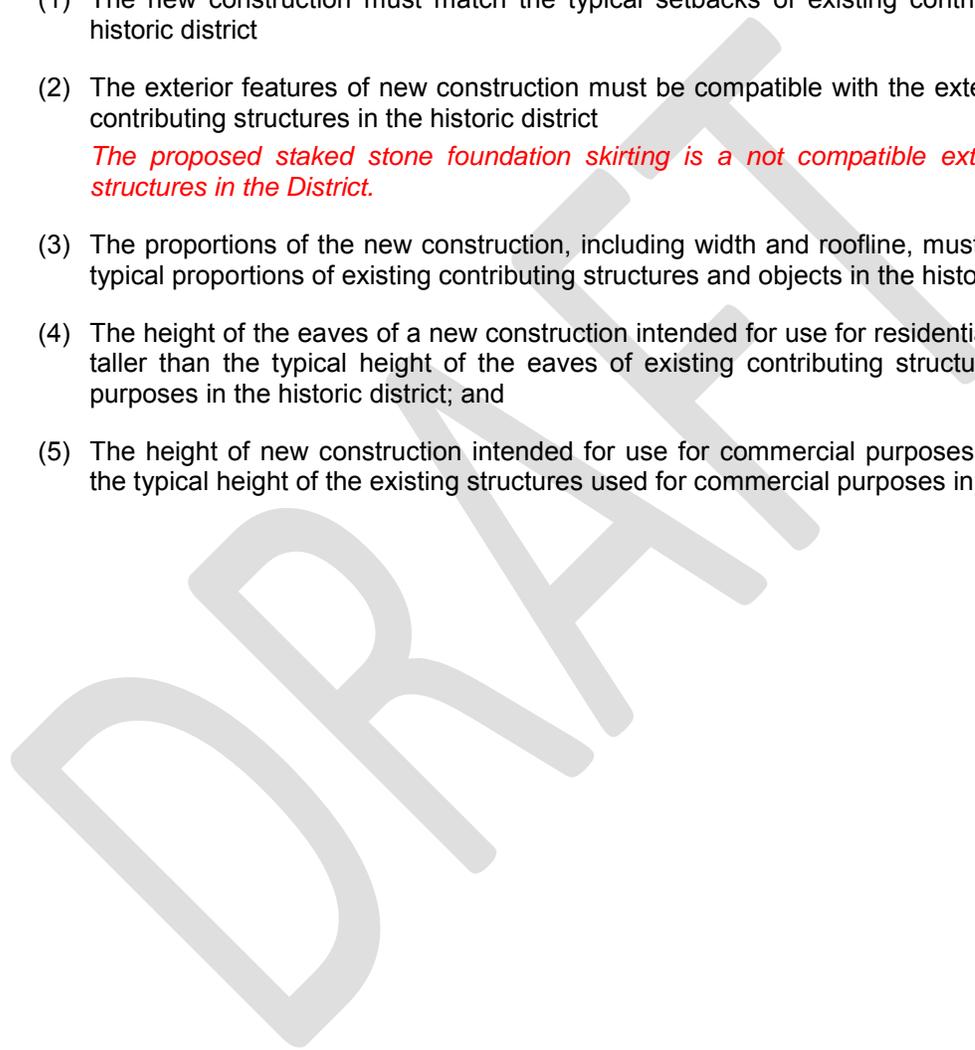
NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242: HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The new construction must match the typical setbacks of existing contributing structures in the historic district
- (2) The exterior features of new construction must be compatible with the exterior features of existing contributing structures in the historic district
The proposed staked stone foundation skirting is a not compatible exterior feature of historic structures in the District.
- (3) The proportions of the new construction, including width and roofline, must be compatible with the typical proportions of existing contributing structures and objects in the historic district
- (4) The height of the eaves of a new construction intended for use for residential purposes must not be taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
- (5) The height of new construction intended for use for commercial purposes must not be taller than the typical height of the existing structures used for commercial purposes in the historic district.





PROPERTY LOCATION
HOUSTON HEIGHTS HISTORIC DISTRICT WEST

Building Classification

- Contributing
- Non-Contributing
- Park



INVENTORY PHOTO



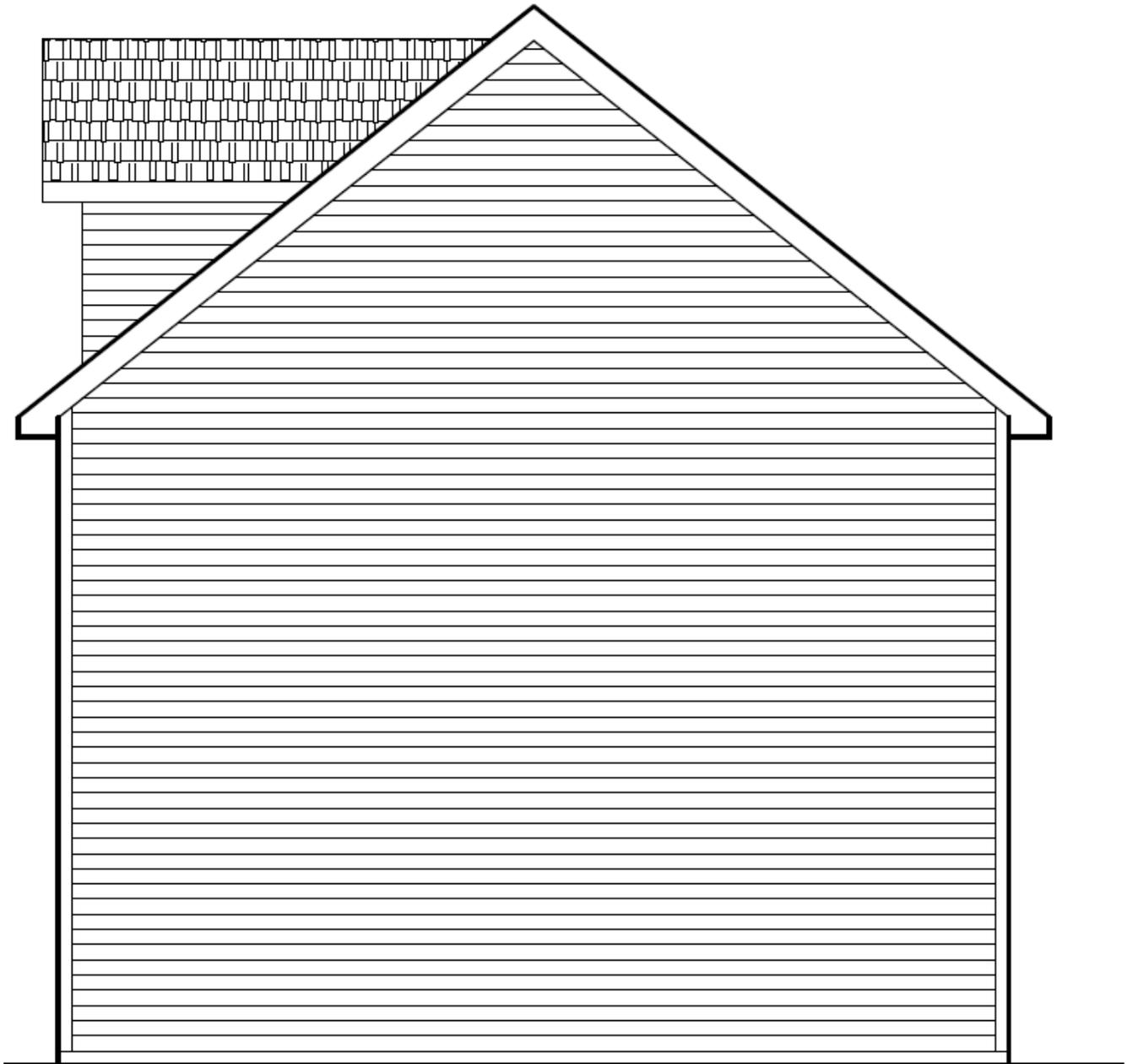
EAST ELEVATION – FRONT FACING TULANE STREET

PROPOSED



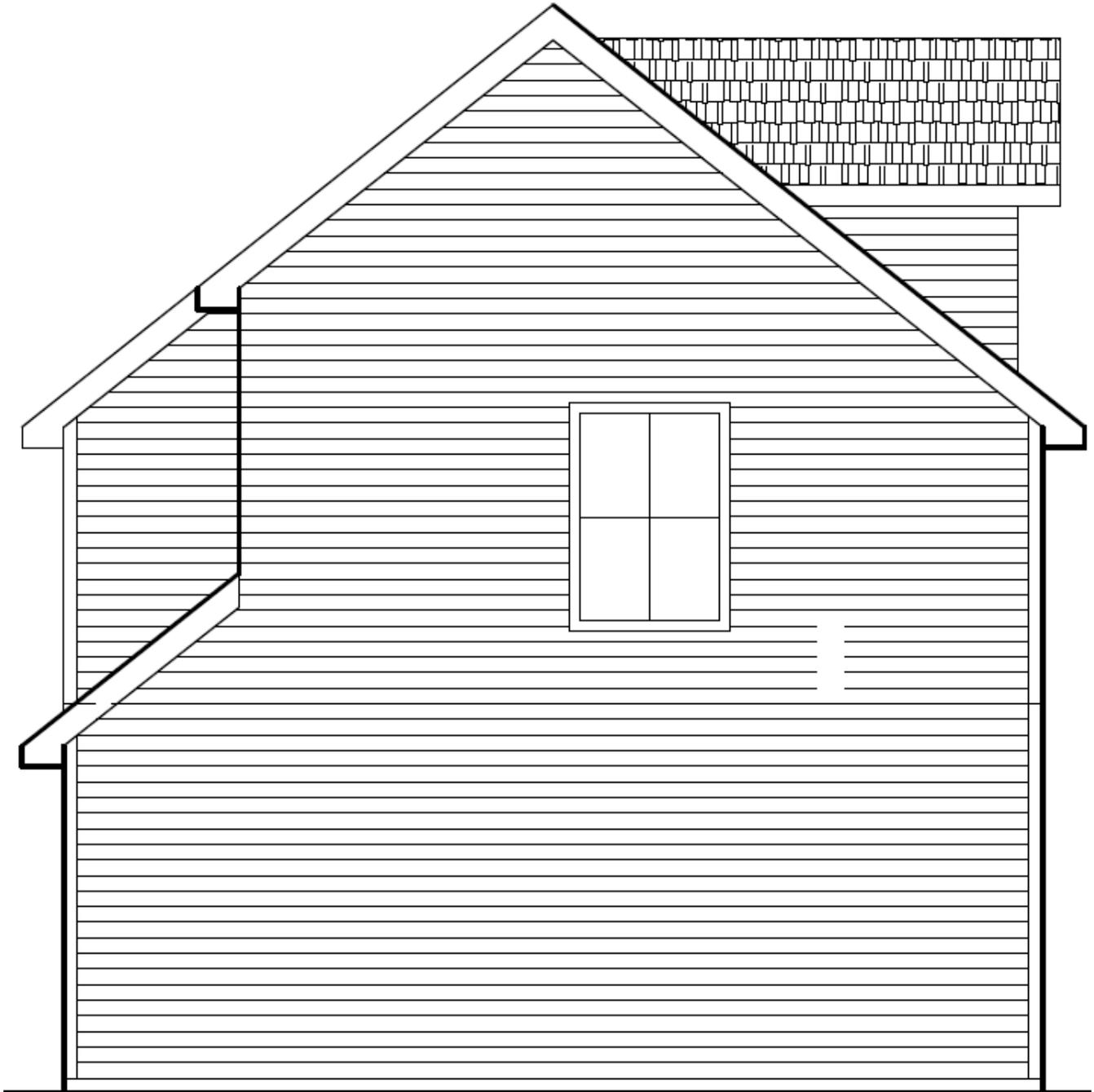
NORTH SIDE ELEVATION

PROPOSED



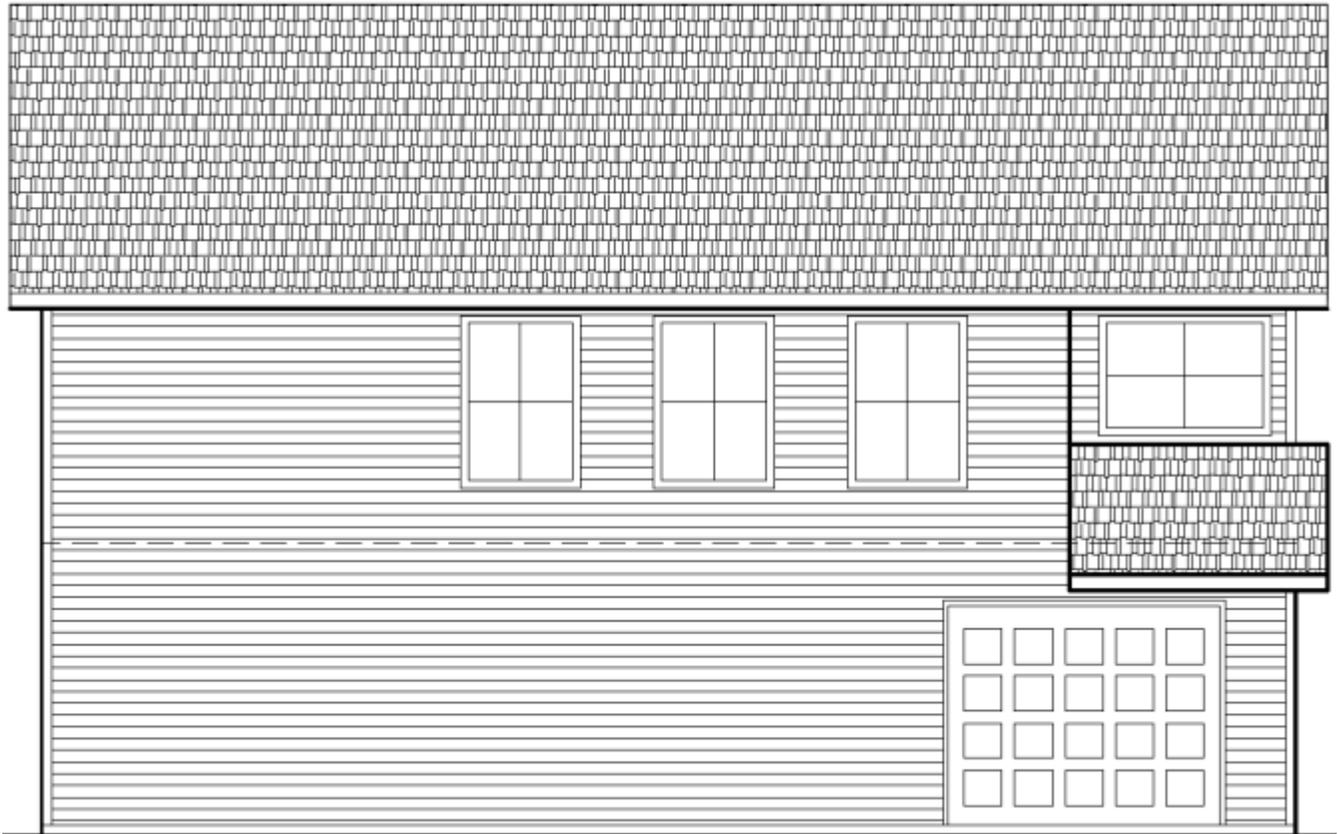
SOUTH SIDE ELEVATION

PROPOSED



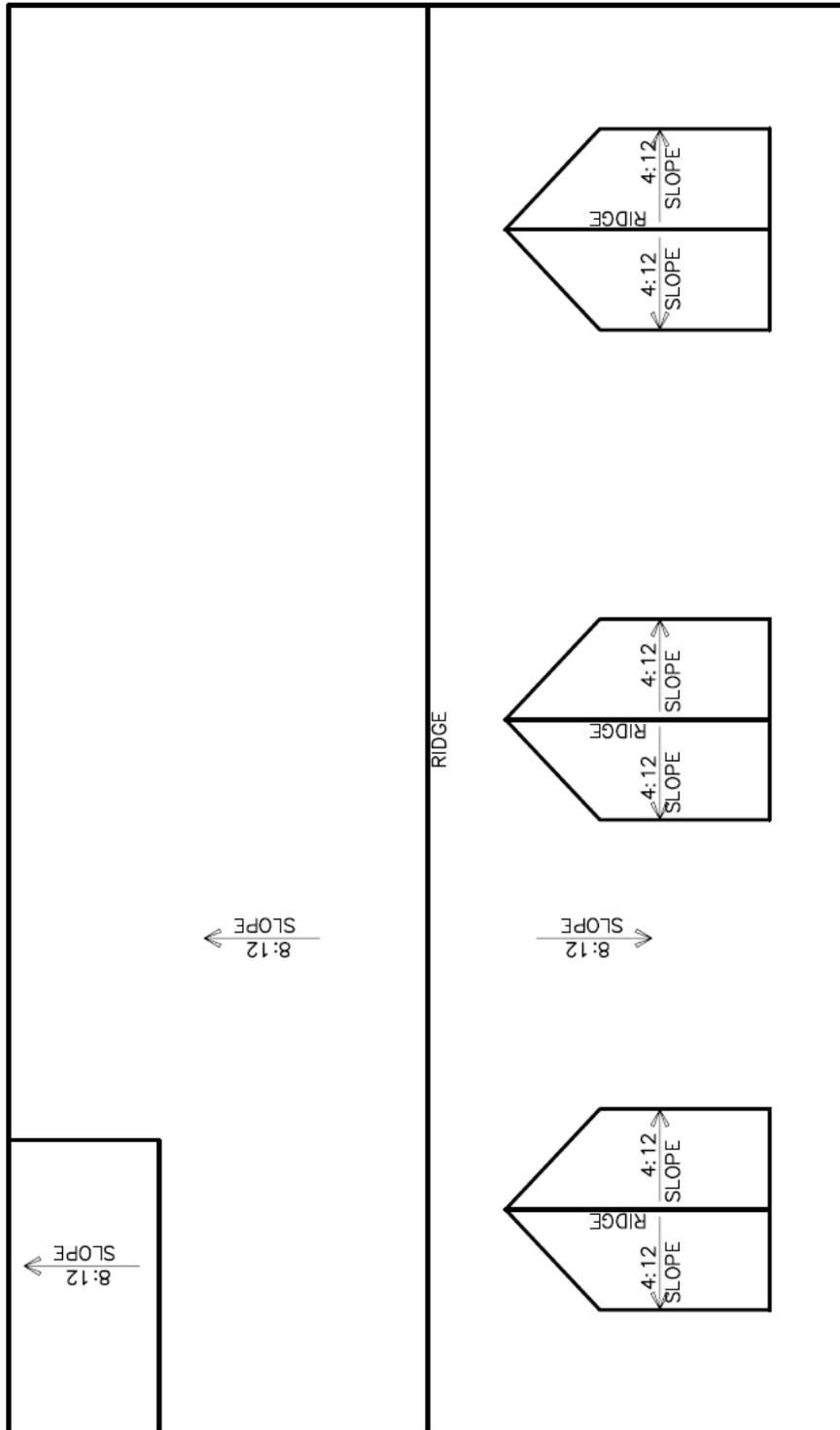
WEST (REAR) ELEVATION

PROPOSED





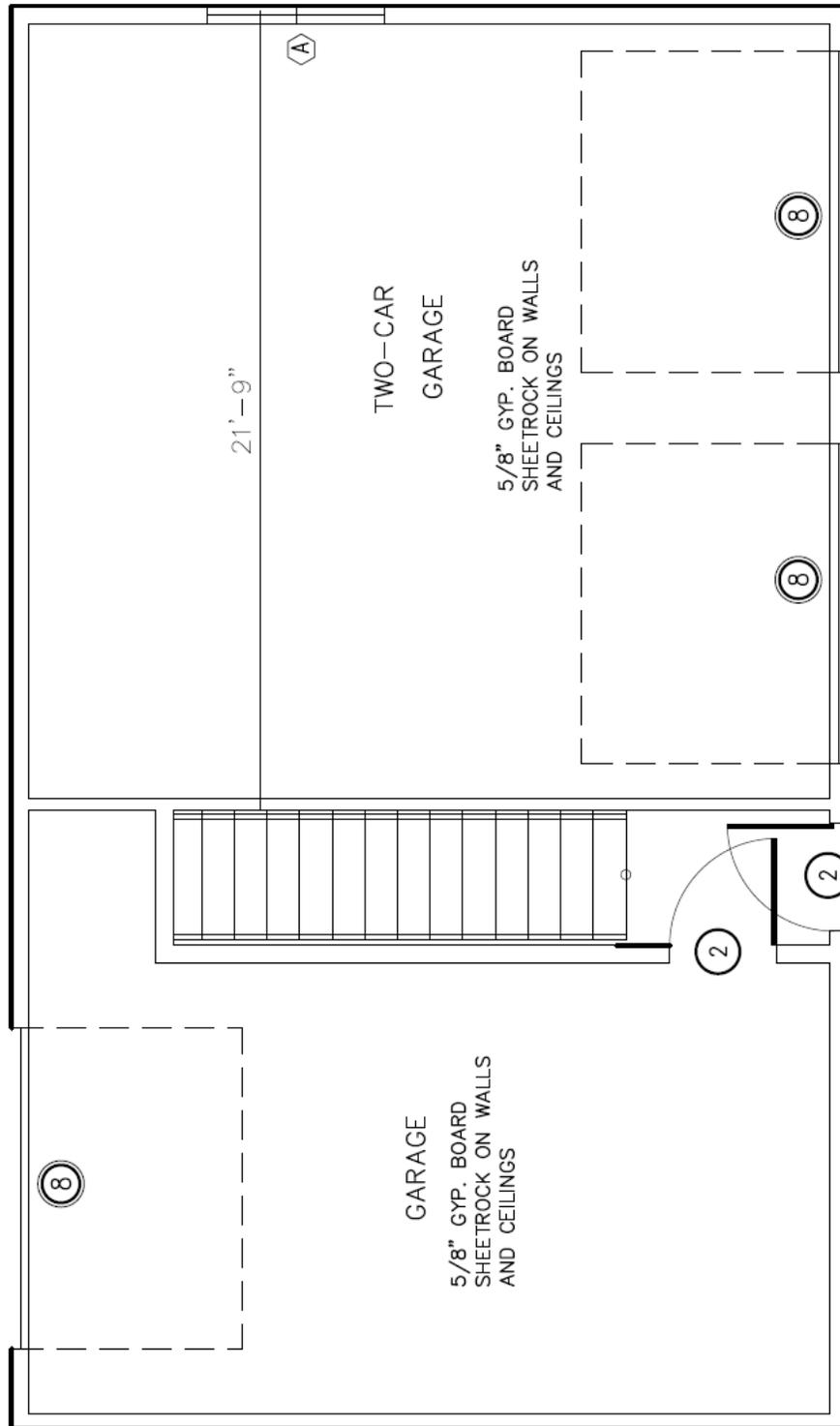
ROOF PLAN
PROPOSED





FIRST FLOOR PLAN

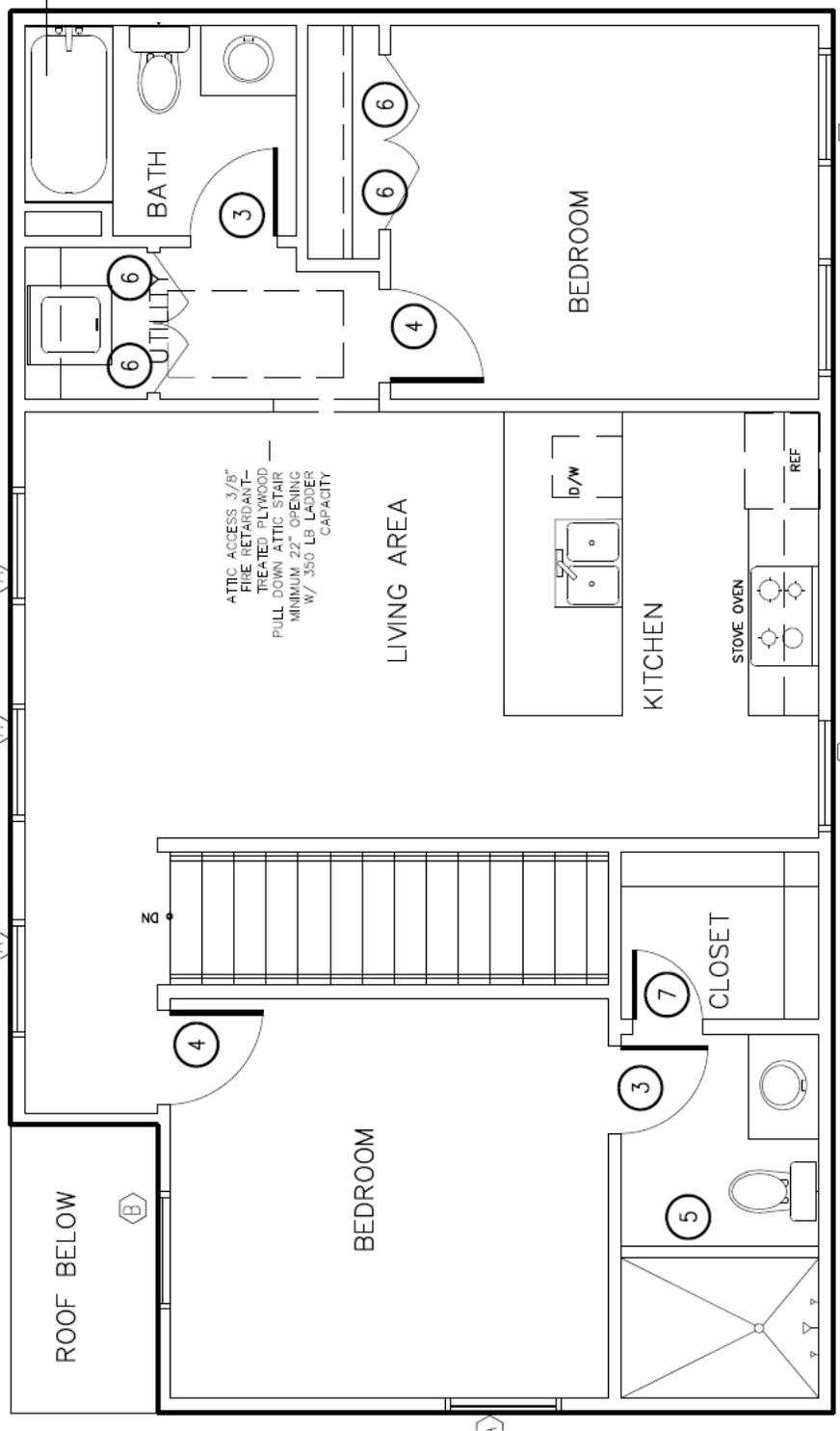
PROPOSED





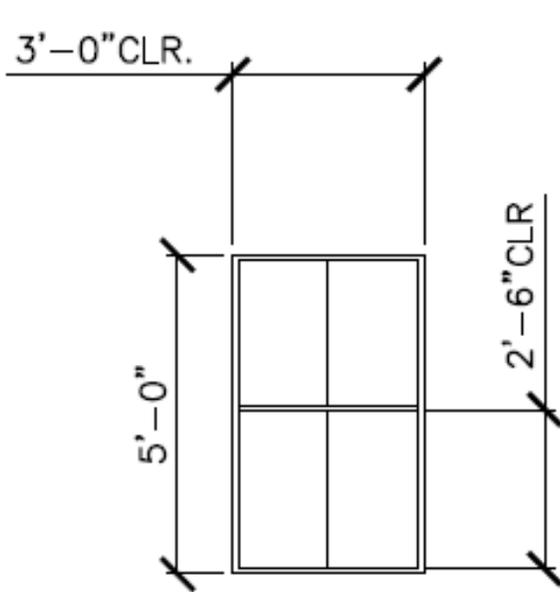
SECOND FLOOR PLAN

PROPOSED

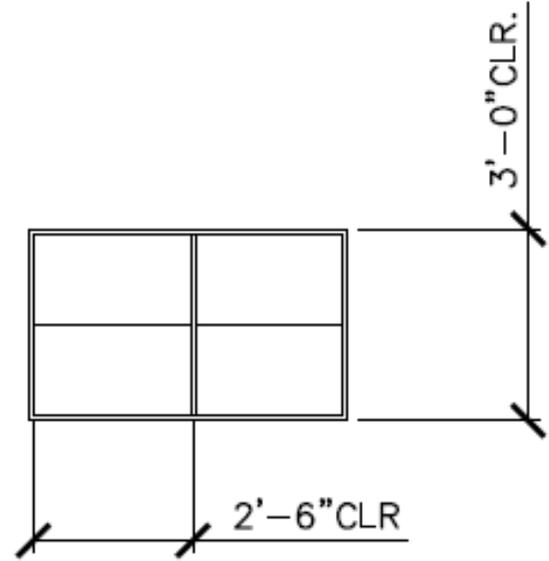


WINDOW / DOOR SCHEDULE

WINDOW SCHEDULE

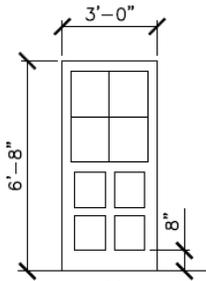


VINYL SINGLE HUNG WDW
W/ DIVIDED LIGHT
EGRESS WINDOW



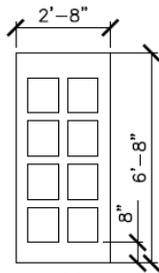
VINYL SINGLE HUNG WDW
W/ DIVIDED LIGHT

DOOR SCHEDULE



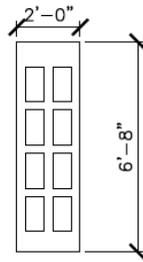
①

1-3/4"
EXT. WD. DOOR



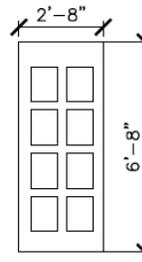
②

6 PANEL WD.
INTERIOR S.C.
FIRE RATED DOOR



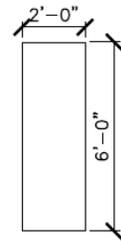
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6 PANEL H.C.
INT. DOOR



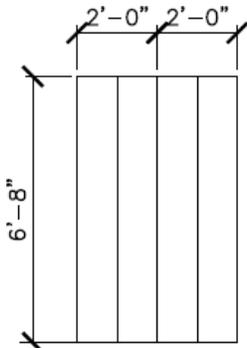
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6 PANEL H.C.
INT. DOOR



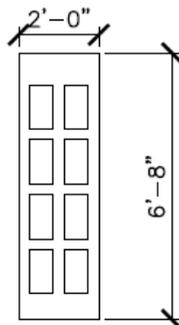
⑤

TEMP SAFETY GLASS
SHOWER DOOR



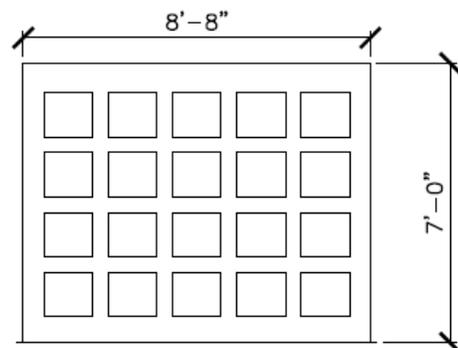
⑥

BI-FOLD DOOR
INT. DOOR



⑦

6 PANEL H.C.
INT. DOOR



⑧

2" THICK FOAM FILLED PLAIN SURFACED METAL
SECTIONAL O.H. DOOR w/ HEAVY DUTY RAILS,
SPRINGS & H.D. DOOR OPERATOR w/ LIGHT
AND SAFETY FEATURES.

PHOTOS SUBMITTED BY APPLICANT

EAST ELEVATION



NORTHEAST ELEVATION



1105 TULANE (NEIGHBOR) - RESIDENCE AND 3-STORY GARAGAE



STREET VIEW FROM CORNER OF TULANE AND 11TH STREET



LOOKING NORTH FROM ALLEY ACCESS- ORANGE TAPE REAR OF LOT



ALLEY VIEW LOOKING SOUTH TOWARDS W 11TH STREET



REAR OF LOT FROM ALLEY- SITE OF PROPOSED GARAGE



VIEW FROM ALLEY LOOKING NORTH- ORGANGE TAPE REAR OF 1107



PROJECT DETAILS

Shape/Mass: The garage will measure 39'-11½" wide, 23'-6" deep, 16'-9½" to the eave and 27'-5½" to the ridge.

Setbacks: The garage will be setback 98'-6" from the front property line, 5' from the north side property line, 4'-10½" from the south side property line, and 10' from the rear property line.

Foundation: The garage will be built on a slab foundation.

Windows/Doors: The garage will feature vinyl 2-over-2 sash windows, steel paneled entry doors, and metal sectional overhead garage doors.

Exterior Materials: The garage will feature smooth finish cementitious horizontal lap siding and stacked stone foundation skirting.

Roof: The garage will feature an 8/12 side gable roof with three 4/12 gable dormers. The roof will be clad with composite shingles.

Front Elevation: Please see elevation drawings on pg.5
(East)

Side Elevation: Please see elevation drawings on pg.6
(North)

Side Elevation: Please see elevation drawings on pg.7
(South)

Rear Elevation: Please see elevation drawings on pg.8
(West)