

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** June 30, 2014

**Applicant:** Lisa LeBlanc, Sings by Tomorrow, for James Dang, Washington Gym, owners

**Property:** 1925 (1917) Washington Avenue, lots 11 & 12, block 426, Baker WR NSBB Subdivision. The property includes a historic two-story brick storefront commercial building situated on a 14,898 square foot corner lot.

**Significance:** Contributing storefront commercial building, constructed circa 1920, located in the Old Sixth Ward Historic District.

**Proposal:** Alteration – Install a 40” tall by 120” wide band sign on the façade facing Washington Avenue. See enclosed application materials and detailed project description on p. 4-8 for further details.

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** -

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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;
(10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);
(11) The proposed activity will comply with any applicable deed restrictions.

OLD SIXTH WARD DESIGN GUIDELINES

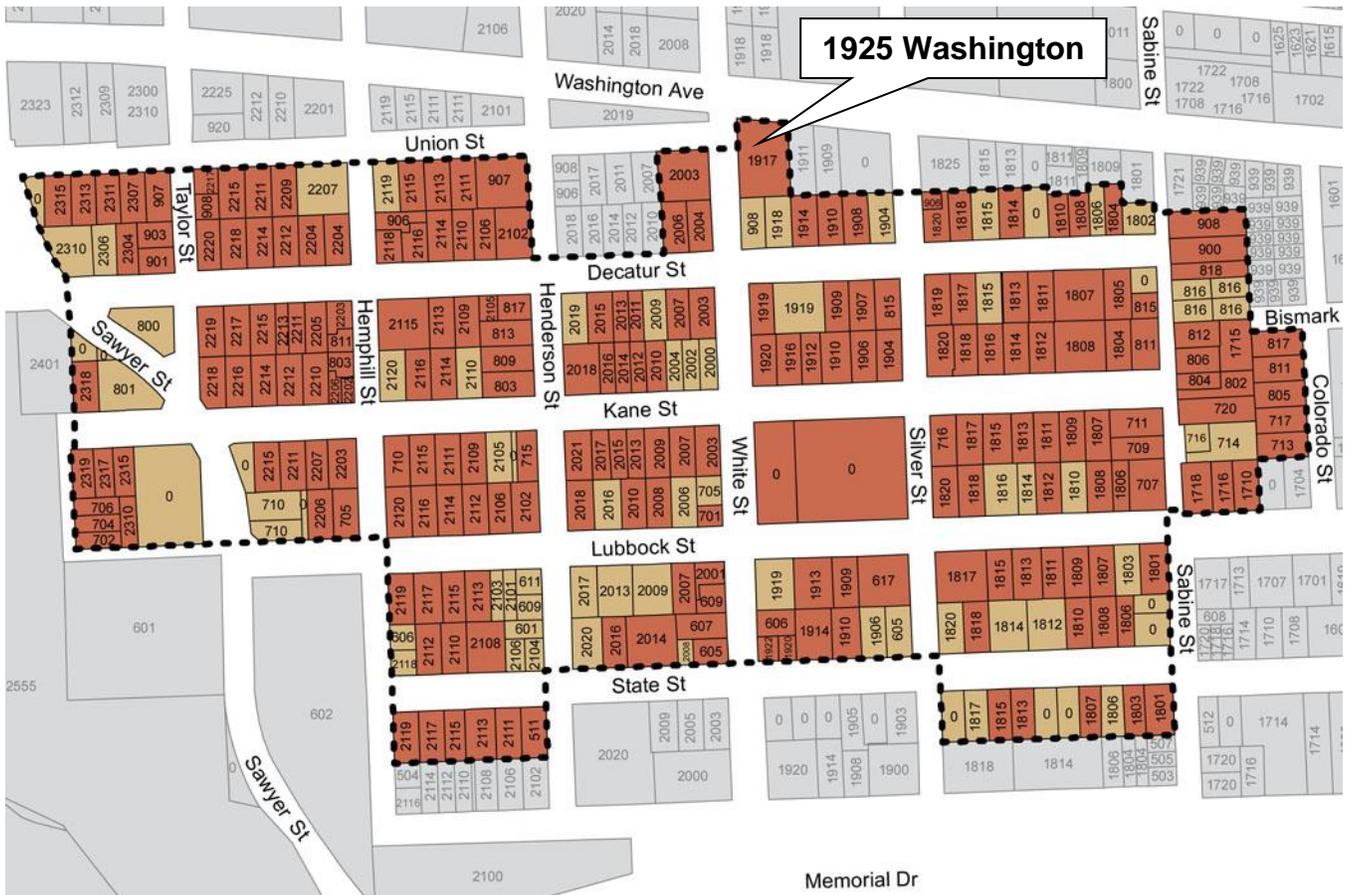
- In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



PROPERTY LOCATION  
OLD SIXTH WARD HISTORIC DISTRICT

Building Classification

- Contributing
- Non-Contributing
- Park



INVENTORY PHOTO



AERIAL IMAGE

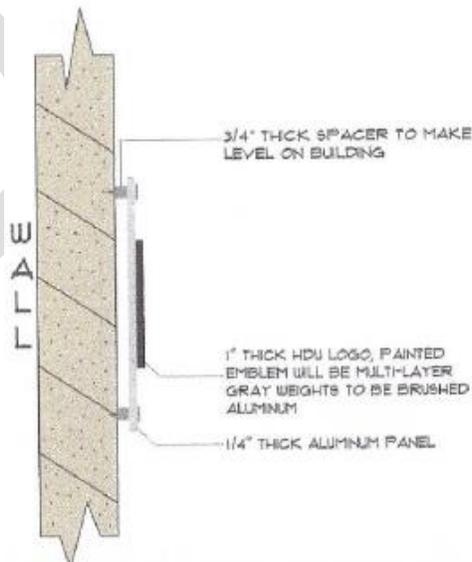


**SIGN DETAILS - DESIGN**

PROPOSED



**SIDE DETAIL**  
SINGLE PANEL DIMENSIONAL



**ADDITIONAL SIGN DETAILS**



**SUPPLEMENTAL INFORMATION**

**DESIGN GUIDELINES FOR THE OLD SIXTH WARD PROTECTED HISTORIC DISTRICT**

**C. Language Conventions**

1. Provisions activated by certain auxiliary verbs are to be read as follows:
  - a. *Shall* indicates a mandatory provision.
  - b. *Should* indicates a recommended provision.
  - c. *May* indicates an optional provision.
2. Certain terms may be abbreviated as follows:
  - a. *Director* means the Director of the Department of Planning and Development.
  - b. *District* means the Old Sixth Ward Protected Historic District.
  - c. *HAHC* means the Houston Archaeological and Historical Commission.
  - d. *Houston Code* means the City of Houston Code of Ordinances.

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**D. Signage**

While Old Sixth Ward is predominantly residential in character, there are a few small scale commercial buildings in the District. There are also instances of residential structures that have been converted to a small office or other commercial uses. The following provides a guideline to types of signs that would be considered appropriate.

1. General Provisions: Signage within the District should be designed and painted in a manner to respect the historic character of the buildings and the neighborhood. The signs should be:
  - a. Appropriate in size and scale.
  - b. Constructed of high quality materials and craftsmanship.
  - c. Located in a logical place on the building or in the front yard, and should not obstruct key elements or details of the building.
  - d. In a style that is compatible with the character of the services or merchandise.
  - e. (If lighted) Illuminated indirectly and using an external light source.

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b. **Sign Band.** This type of sign is intended primarily for retail uses at street level to draw the attention of pedestrians and drivers.

- 1) Placement:
  - (a) Sign should be mounted on the building face between the first and second floor window openings.
  - (b) Sign should be integrated with the composition of the façade.
  - (c) Background may be the building wall or "backboard".
  - (d) Profile of the sign should be essentially flush.
  - (e) Bottom edge of sign should be located a minimum of 10' above sidewalk.
- 2) Dimensions:
  - (a) Backboard and overall band width is limited to 60% of bay width.
  - (b) Backboard may have a maximum height of 24".
  - (c) Letters may have a maximum height of 18".
- 3) Letter or backboard materials:
  - (a) Sign may be metal, stone, wood, paint, carved, plaster, or plastic; cabinet signs are not permitted.
- 4) Lighting:
  - (a) Front-lit signs (illuminated by an external light source) are acceptable.

- 5) Other provisions:
  - (a) No neon signs are permitted. Consistency of the sign bands in a single building is recommended.



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### PROJECT DETAILS

**Shape/Mass:** The proposed sign band is 40" tall, 120" wide. The horizontally proportioned sign will have rounded corners.

The sign will be installed 13'-2" above grade on the façade (north elevation). The sign will be fastened to the building with eight 3/8" x 5" fasteners. There will be a 3/4" gap between the wall and the sign to ensure that the sign can be installed level. See drawings and photos for more detail.

**Exterior Materials:** The sign will feature the words 'WASHINGTON GYM' along with a logo comprised of a shield and weights. The letters will be 13" tall. The painted logo and words will be constructed from 1" thick multilayer HDU (high-density urethane) and the gray weights will be brushed aluminum. The background of the sign will be comprised of a 1/4" thick aluminum panel. See drawings for more detail.

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