

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** March 2, 2015

**Applicant:** Alex Ridgeway, Brickmoon Design for Tom Scott, The Hoff Group, Owner

**Property:** 1215 Rutland Street, lot 14, block 183, Houston Heights Subdivision. The property consists of a vacant 4,356 square foot (33' x 133') interior lot.

**Significance:** The property is a vacant lot located in the Houston Heights Historic District West. The property is one of five platted lots that were the former location of a now demolished poultry processing plant.

**Proposal:** New Construction – Residence *REVISION*

- Applicant granted was granted a conditional COA on February 26, 2015, on the condition that the residence be set back 20' from the front property line instead of the proposed 15'.
- The applicant now proposes to reduce the depth of the proposed residence by 5' in order to comply with the previous COA's conditions.
- Applicant also proposes to change their approved covered front stoop to a full width front porch
- Minor fenestration changes on the south side elevation.
- The eave and ridge heights of the approved attached rear garage will be reduced by 1' and 1' 2" respectively.

See enclosed application materials and detailed project description on p. 4-14 for further details.

**Public Comment:** No public comment received at this time.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:**

**APPROVAL CRITERIA**

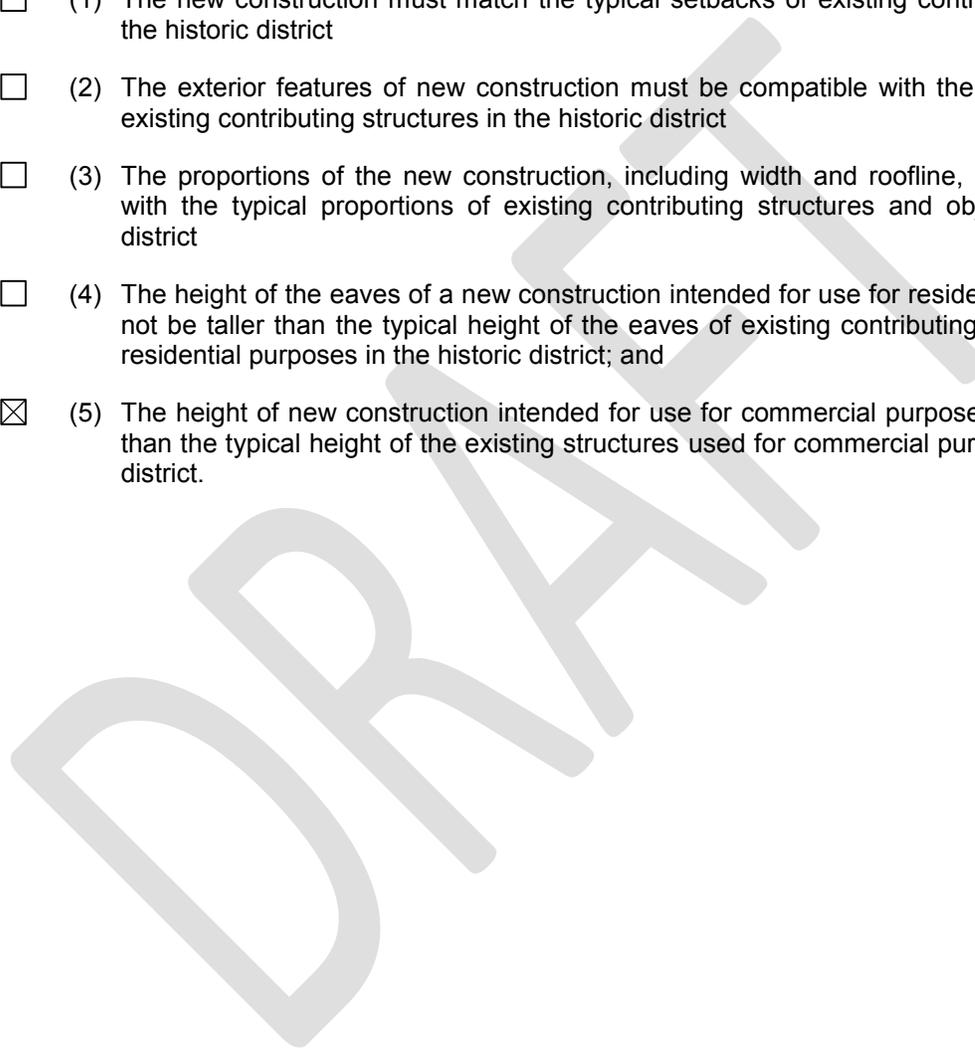
**NEW CONSTRUCTION IN A HISTORIC DISTRICT**

Sec. 33-242: HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

**S D NA**

**S - satisfies D - does not satisfy NA - not applicable**

- (1) The new construction must match the typical setbacks of existing contributing structures in the historic district
- (2) The exterior features of new construction must be compatible with the exterior features of existing contributing structures in the historic district
- (3) The proportions of the new construction, including width and roofline, must be compatible with the typical proportions of existing contributing structures and objects in the historic district
- (4) The height of the eaves of a new construction intended for use for residential purposes must not be taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
- (5) The height of new construction intended for use for commercial purposes must not be taller than the typical height of the existing structures used for commercial purposes in the historic district.

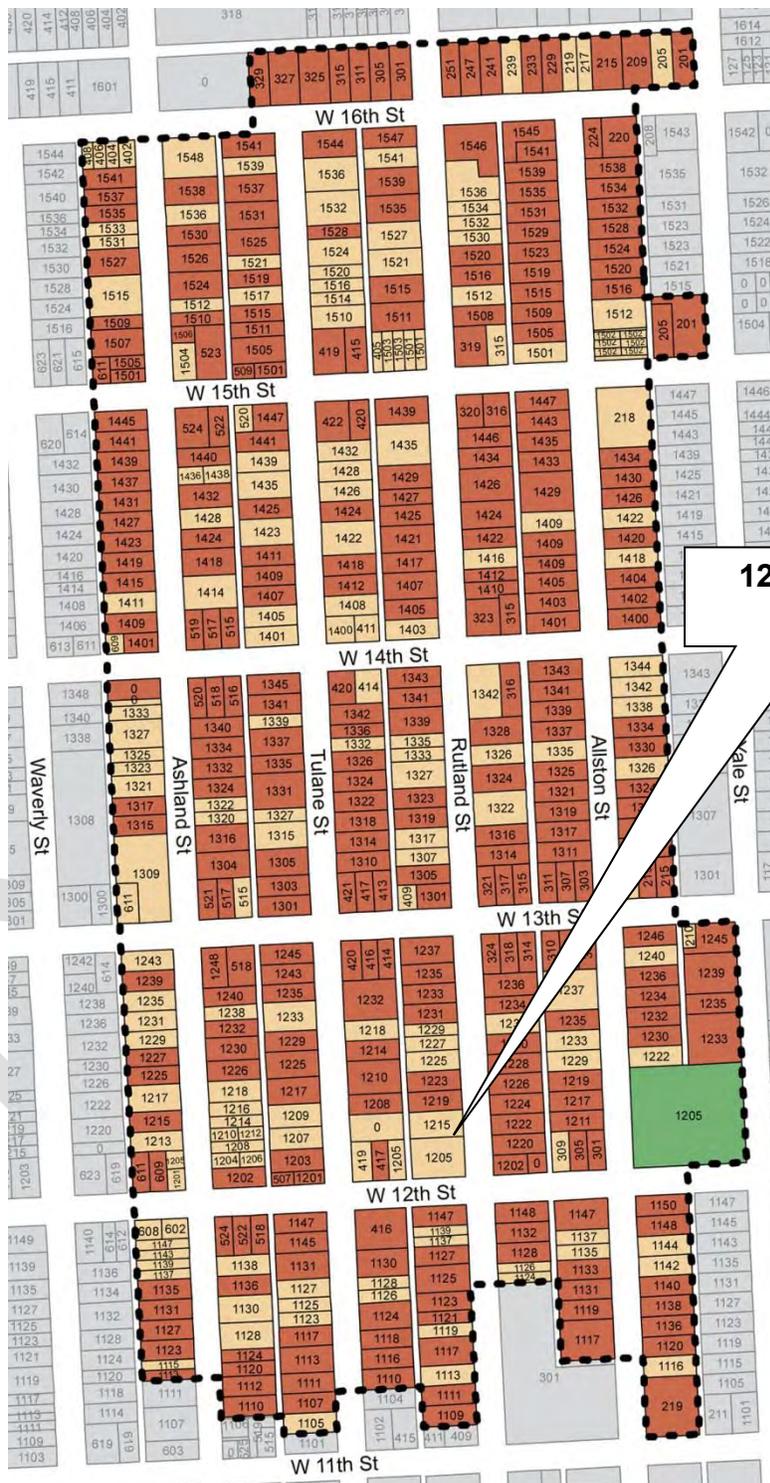




PROPERTY LOCATION  
HOUSTON HEIGHTS HISTORIC DISTRICT WEST

Building Classification

- Contributing
- Non-Contributing
- Park



1215 Rutland Street

**CURRENT PHOTO**



**Approval Criteria #1**

***New construction must match the typical setbacks of existing contributing structures in the district.***

*Contributing structures on the 1200 block of Rutland have a prevailing front setback of approximately 20'.*

**Sanborn Fire Insurance Map & Prevailing Setbacks of Contributing Structures**



NEIGHBORING PROPERTIES



1219 Rutland – Contributing – 1915 (neighbor three doors to the north)  
Front setback – 25'

1223 Rutland – Contributing – 1920 (neighbor four doors to the north)  
Front setback – 30'



1202 Rutland– Contributing – 1920 (across street)  
Front setback – 20'

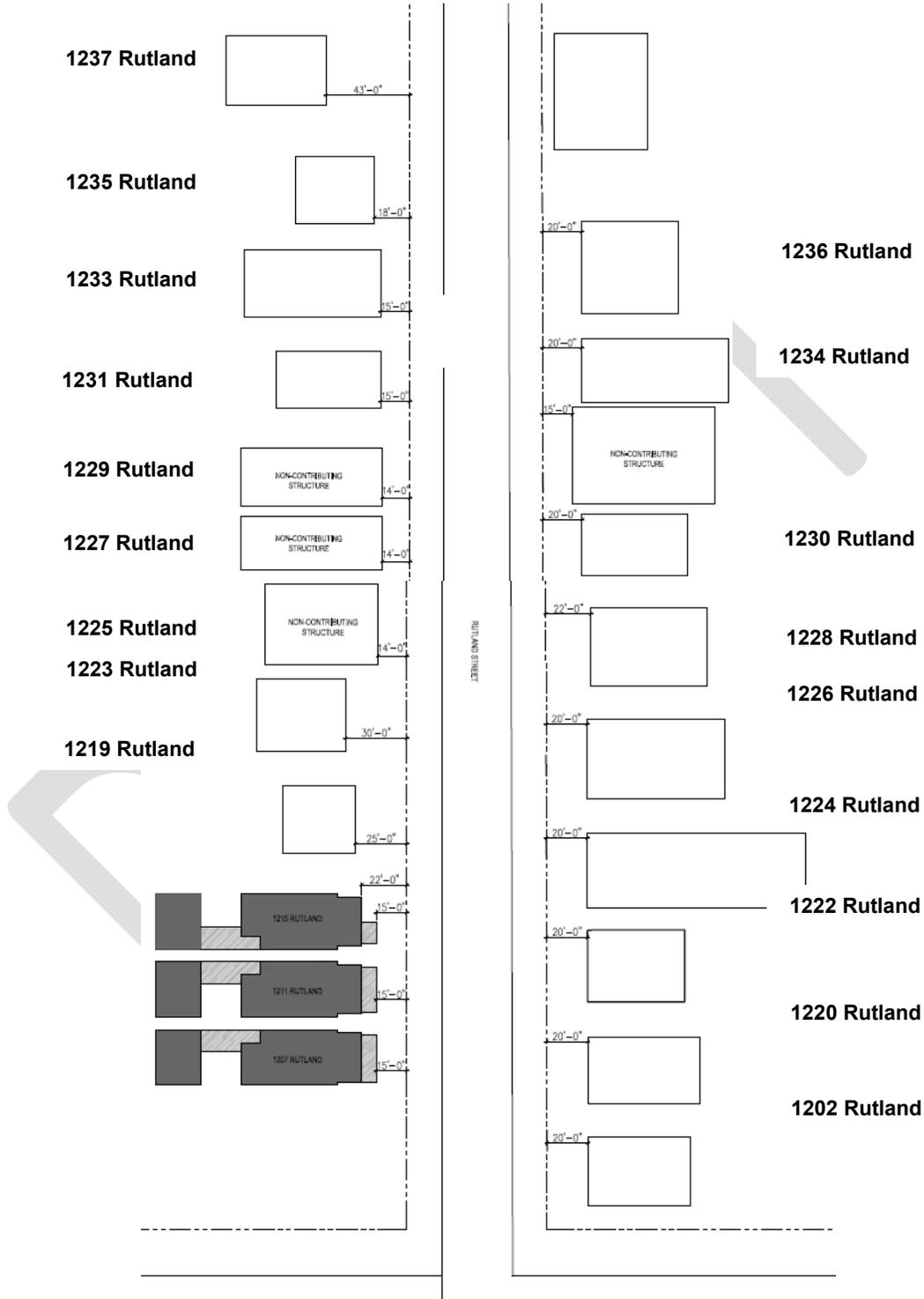
1220 Rutland– Contributing – 1920 (across street)  
Front setback – 20'



1222 Rutland– Contributing – 1920 (across street)  
Front setback – 20'

1224 Rutland– Contributing – 1920 (across street)  
Front setback – 20'

**BLOCKFACE SETBACKS PROVIDED BY THE APPLICANT**



**BLOCKFACE PHOTOS**



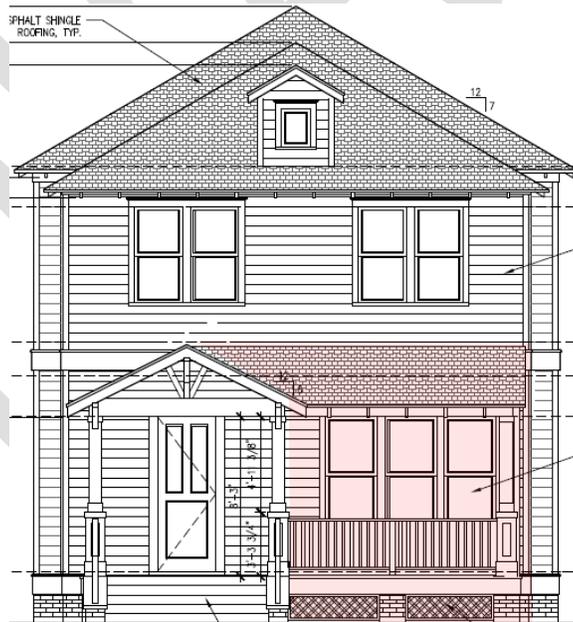
**EAST ELEVATION – FRONT FACING RUTLAND**

APPROVED WITH CONDITIONS 2/26/15



**EAST ELEVATION**

PROPOSED





**NORTH SIDE ELEVATION**

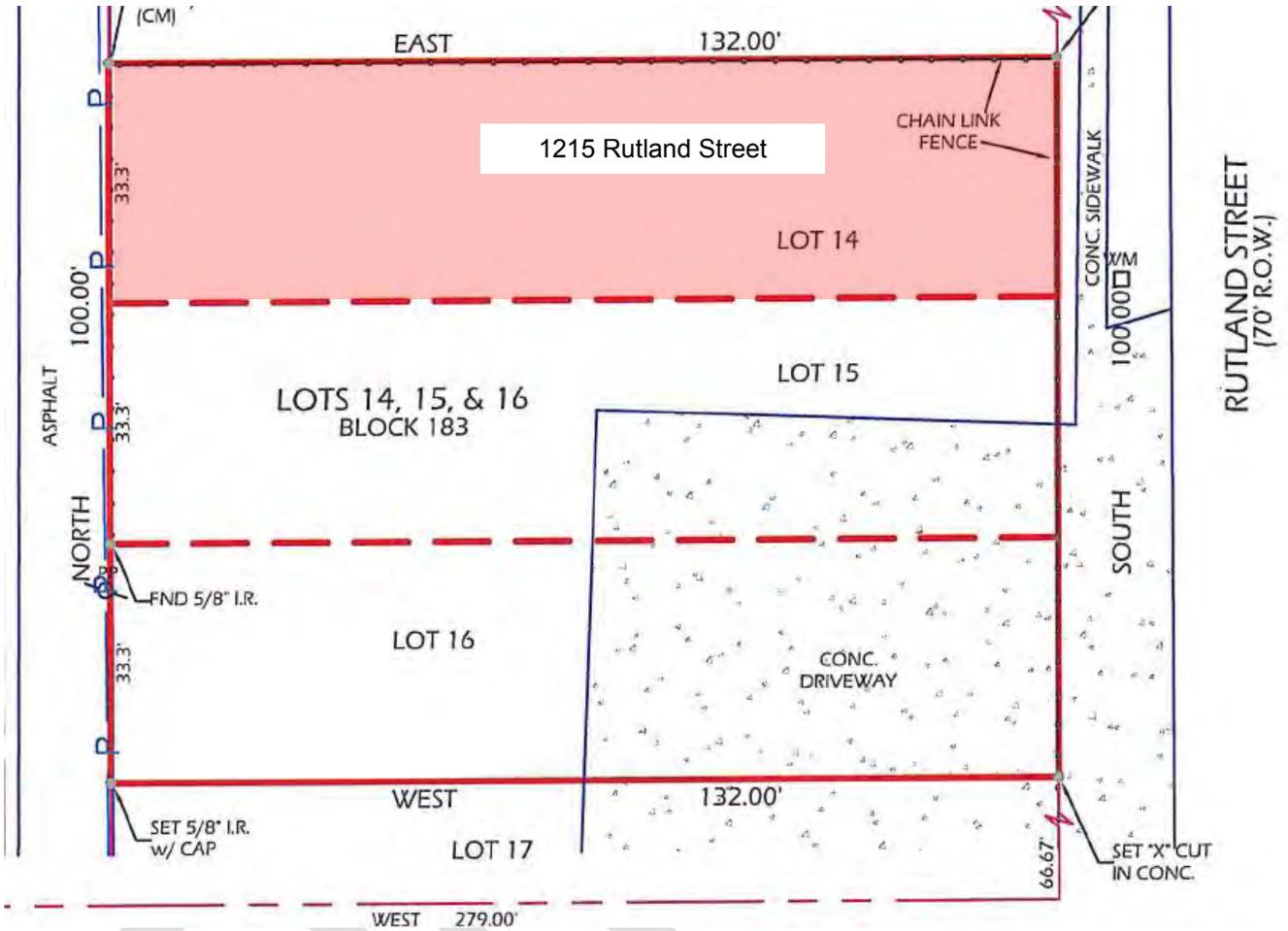
APPROVED WITH CONDITIONS 2/26/15



PROPOSED



**SURVEY**





## PROJECT DETAILS

**Shape/Mass:** **Approved With Conditions 2/26/15:** *Residence will measure 108' deep by 27' wide and will feature an eave height of 23' and a ridge height of 31' 10". The front 12' of the residence will feature a width of 24' and will feature an eave height of 22' and a ridge height of 29' 11". The residence features an alley loading garage attached to the rear of the residence by a breezeway. The residence will feature a 10' 7" front porch eave height.*

**Proposed Revisions:** Reduce the depth of the residence and attached garage by 5'. The eave height of the approved attached rear garage will be reduced from 19' 6" to 18' 6". The ridge height of the garage has been reduced from 27' to 25' 10".

**Setbacks:** **Approved With Conditions 2/26/15:** *15' from the front property line and 3' 2" from the north and south side property lines.*

**Proposed Revision:** Setback has been increased to 20' from the front property line.

**Foundation:** Pier and beam foundation with brick piers and wood lattice skirting. The residence will feature a finished floor height of 2' 8" above existing grade.

**Windows/Doors:** Wood double hung 1-over-1 wood windows with a recessed profile. The residence will feature a recessed panel entry door.

**Exterior Materials:** Smooth finish horizontal lap cementitious siding with a 6" exposure.

**Roof:** Hipped roof with a front open gabled dormer and a 7:12 pitch.

**Front Elevation:** **Approved with Conditions:** *The residence will feature a half width front porch with two 1' by 1' squared columns atop wood recessed panel piers and wood front steps. The first floor will feature a recessed panel entry door on the south bay and three windows on the south. The second floor will feature two pairs of windows.*

**Proposed Revision:** The half width front porch will be replaced with one that will now span the full width of the front wall. The revised porch will measure 22' 6" wide by 6' 6" deep.

**Side Elevation:** **(South)** The first 12' of the residence will feature a lower height and narrower width than the remainder of the structure. The first 66' of the first floor will feature 4 windows and the second floor will feature 7 windows. A 19' 6" deep breezeway with 4 square columns will connect the rear of the residence with a 21' 3" deep two story alley facing garage.

**Side Elevation:** **(North)** The first 12' of the residence will feature a lower height and narrower width than the remainder of the structure. The first 66' of the first floor will feature 7 windows and the second floor will feature 5 windows. A 19' 6" deep breezeway with 4 square columns will connect the rear of the residence with a 21' 3" deep two story alley facing garage.

**Rear Elevation:** **(West)** The two story garage will feature an overhead rolling garage door on the first floor and three windows on the second.