

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

**PROPERTY**

Address 1133 WINSTON STREET  
 Historic District / Landmark NORTH NORHILL / HISTORIC DISTRICT HCAD # 0620810030011  
 Subdivision NORTH NORHILL Lot 11 Block 103

**DESIGNATION TYPE**

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

**PROPOSED ACTION**

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

**DOCUMENTS**

Application checklist for each proposed action and all applicable documentation listed within are attached

**OWNER**

Name DAVID AND MARY QUISIG  
 Company \_\_\_\_\_  
 Mailing Address 725 TEETSHPN STREET  
HOUSTON, TX. 77009  
 Phone 713-907-0883  
 Email [REDACTED]  
 Signature Mary Quisig  
 Date 2-3-2016

**APPLICANT** (if other than owner)

Name LESLIE LEPPARD  
 Company VINTAGE HOMES  
 Mailing Address 921 COLUMBIA STREET  
 Phone 713-417-4217  
 Email [REDACTED]  
 Signature Leslie Leppard  
 Date 2-3-2016

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS DEMOLITION CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**Well in advance** of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Submit all items with the COA application form. An incomplete application may cause delays in processing or may be deferred to the next agenda. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-247 for demolition approval criteria. Demolition applicants must give public notice by posting a sign at the site of the structure. Refer to attached public notice sign requirements for instructions.

**PROPERTY ADDRESS:** 1133 WINSTON STREET

**DEMOLITION TYPE:**  unreasonable economic hardship  unusual or compelling circumstance

## WRITTEN DESCRIPTION

property description, current conditions and any prior alterations or additions

## PHOTOGRAPHS

 label photos with description and location

elevations of all sides of structure

public notice sign(s) at the site upon installation with time stamp - To Follow

## DRAWINGS

current site plan or survey

## DOCUMENTATION

certified appraisal of the value of the property conducted by a certified real estate appraiser

assessed value of the land and improvements according to the two most recent assessments, unless the property is exempt from local property taxes

all appraisals obtained by the owner in connection with the acquisition, purchase, donation, or financing of the property

all Listings of the property for sale or rent that are less than a year old at the time of the application

evidence of any consideration by the owner of uses and adaptive reuses of the property

rehabilitation cost estimates, itemized and detailed, for identified uses or reuses, including the basis of cost estimates

comparison costs of rehabilitation of the existing building, demolition of the building, and new construction

complete architectural plans and drawings of the intended future use of the property, including new construction, if applicable/available

plans to reuse, recycle or salvage list of building materials if a COA is granted

if applicant is a Nonprofit Organization, provide the following additional written information:

cost comparison of the performance of the organization's mission or function in the existing and new buildings

impact of reuse of the existing building on the organization's program, function or mission

additional costs if any, attributable to the building of performing the nonprofit organization's function within the context of costs incurred by comparable organizations, particularly in the Houston area

grants received, applied for or available to maintain or improve the property

budget of the nonprofit organization for the current and immediately past fiscal years

# CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

PROPERTY ADDRESS: 1133 WINSTON STREET

## NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage - 1-car
- carport
- accessory structure
- other

## DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- perspective

## WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary

## PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties

# 1133 WINSTON STREET GARAGE

1133 WINSTON STREET  
Houston, TX 77009

## SHEET INDEX

### ARCHITECTURAL

- A0.1 GENERAL NOTES
- A1.0 SITE PLAN
- A1.1 PLANS AND ELEVATIONS
- A4.1 FRAMING DETAILS
- A4.2 WALL SECTION & DETAILS

### STRUCTURAL

- S1.1 STRUCTURAL PLANS AND NOTES
- S1.2 DETAILS
- S1.3 STRUCTURAL NOTES AND DETAILS

## PROJECT INFORMATION

GARAGE TOTAL COVERED 252 SQ.FT.  
TOTAL COVERED 252 SQ.FT.

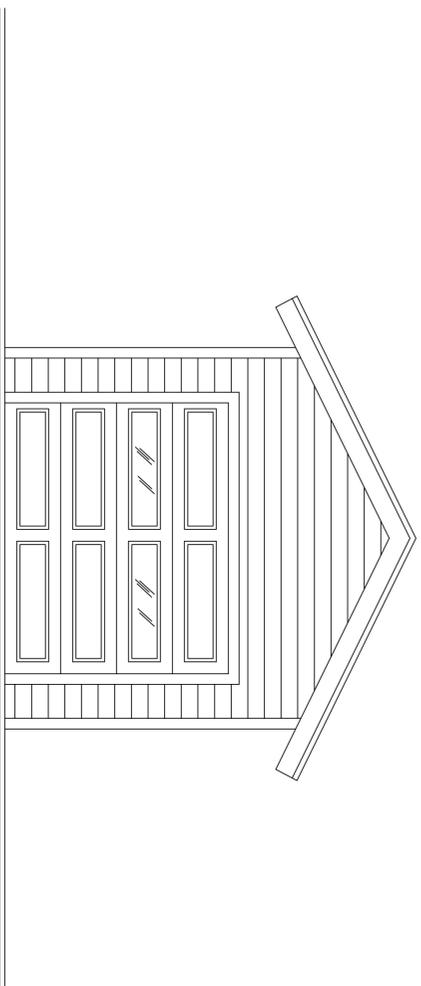
## VICINITY MAP

## VICINITY MAP



## DRAWING ISSUE

01.30.16 ISSUE FOR REVIEW



DATE: 2016

1133 WINSTON

## Contractor

Vintage Homes  
921 Columbia Street  
Houston TX 77009

## Engineer

Henry E. Segura P.E.  
Professional Engineer  
9827 Sageaspen Lane  
Houston, TX 77089-3501

## Designer

Alyson Wilson, Inc.  
55 Champions Court Place  
Houston TX 77069

## Division 1: General Requirements

- 1.1 CONSTRUCTION DOCUMENTS CONSIST OF DRAWINGS AND NOTES. IN THE EVENT OF A DISCREPANCY, THE NOTES SHALL GOVERN.
- 1.2 DRAWINGS: THE DETAIL DRAWINGS ARE NOT GENERALLY REFERENCED TO THE OVERALL VIEWS WHEN THEIR TITLE SUFFICIENTLY DESCRIBES THEIR LOCATION, UNLESS OTHERWISE INDICATED. INDIVIDUAL DRAWINGS ARE THE SAME SCALE AS NOTED IN THE TITLE BLOCK OF THE SHEET IN WHICH THE DRAWINGS IS INCLUDED.
- 1.3 CODES: THE PROJECT SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND DEED RESTRICTIONS. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES REGARDLESS OF INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR SECURING THE FORMAL APPROVALS OF ALL GOVERNING AUTHORITIES AS REQUIRED.
- 1.4 COMPETITION OF WORK: CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT TO COMPLETE THE INTENT OF THE ENTIRE PROJECT, INCLUDING BUT NOT LIMITED TO ALL MECHANICAL, ELECTRICAL, PLUMBING, AND UTILITIES AS NECESSARY FOR OBTAINING A CERTIFICATE OF OCCUPANCY REGARDLESS OF INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS.
- 1.5 COORDINATION: CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY REVIEWING THE CONSTRUCTION DOCUMENTS, APPLICABLE CODES, AND MANUFACTURERS' RECOMMENDATIONS/REQUIREMENTS AS NECESSARY TO PROPERLY COMPLETE THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES, SUBCONTRACTORS AND SUPPLIERS.
- 1.6 WORKMANSHIP: ALL WORK SHALL BE HIGH QUALITY IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS/REQUIREMENTS AND CUSTOMARY CONSTRUCTION METHODS. ALL WORK TO BE STRAIGHT, SQUARE, PLUMB, LEVEL AND WITHOUT DISTORTIONS.
- 1.7 CLEANLINESS: CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA AND SHALL REMOVE ALL DEBRIS AND DISPOSE OF IT PROPERLY. CONTRACTOR SHALL PROTECT TREES, OTHER VEGETATION, ADJACENT PROPERTIES, AND OTHER EXISTING CONDITIONS FROM DAMAGE DUE TO CONSTRUCTION.
- 1.8 SAFETY: CONTRACTOR SHALL MAINTAIN A SAFE WORK AREA AT ALL TIMES.
- 1.9 INSPECTION OF PREMISES: THE CONTRACTOR IS FULLY RESPONSIBLE FOR INSPECTING THE EXISTING PREMISES OR PROPERTY AND VERIFYING ALL EXISTING CONDITIONS IN THE FIELD, INCLUDING ALL DEED RESTRICTIONS, EASEMENTS, UTILITIES, AND BUILDING REGULATIONS.
- 1.10 HOLD HARMLESS: CONTRACTOR AND SUBCONTRACTORS AGREE TO HOLD HARMLESS AND INDEMNIFY THE OWNER, DESIGNER AND ENGINEER FOR ANY AND ALL LIABILITIES, LOSSES, AND FOR CLAIMS WHICH MAY ARISE, DIRECTLY OR INDIRECTLY, ON ACCOUNT OF THE CONSTRUCTION WORK, REGARDLESS OF THE CONTENT OF THE CONSTRUCTION DOCUMENTS.
- 1.11 ACCURACY OF DOCUMENTS: OWNER AND CONTRACTOR RECOGNIZE THAT THERE MAY BE INACCURACIES OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS AND RESOLVE ANY PROBLEMS ARISING PRIOR TO CONTINUING THE WORK. THE DESIGNER AND ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR ANY COMPLICATIONS WHICH ARISE DUE TO CHANGES OR REVISIONS MADE IN THE FIELD.

## Division 2: Sitework

- 2.1 DEMOLITION: PERFORM ANY DEMOLITION NECESSARY TO PROCEED WITH CONSTRUCTION OF THE PROJECT. DEMOLITION MAY INCLUDE BUT SHALL NOT BE LIMITED TO: DISCONNECTION OF UTILITIES, DEMOLITION OF EXISTING IMPROVEMENTS, CURB CUTS, DEMOLITION PERMITS (IF REQUIRED), AND DISPOSAL OF DEBRIS IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING AUTHORITIES.
- 2.2 PROTECT TREES, FENCES, AND STRUCTURES TO REMAIN (INCLUDING THOSE ON ADJACENT PROPERTIES), CONTROL NOISE, DUST, AND DEBRIS.
- 2.3 ALL SITE PREPARATION SHALL TAKE PLACE BASED ON A THOROUGH UNDERSTANDING OF THE CONSTRUCTION DOCUMENTS AND THE REQUIREMENTS OF GOVERNING AUTHORITIES. CONTRACTOR SHALL PROVIDE ALL SURVEYING, STAKING AND LAYOUT TO PROPERLY LOCATE THE IMPROVEMENTS ON THE SITE.
- 2.5 ALL SITE PREPARATION SHALL PROMOTE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS. ALL DRAINAGE AND RUNOFF SHALL BE DIRECTED TO THE STREET. TYPICAL SLOPES FOR DRIVEWAYS, SIDEWALKS AND OTHER HARDSCAPE SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 5% CROSS SLOPES AT SIDEWALKS AND DRIVEWAYS SHALL NOT EXCEED 2%.
- 2.6 ALL UNPAVED AREAS SHALL BE LANDSCAPED AND GRADED TO PROMOTE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS.
- 2.7 DETERMINE LOCATION OF EXISTING SITE UTILITIES (SANITARY SEWER, WATER, ELECTRICAL, GAS) AND SECURE CONNECTION FROM THE APPROPRIATE UTILITY SERVICE COMPANIES.

## Division 3: Concrete

- 3.1 ALL CONCRETE SHALL BE MINIMUM 3000 PSI AT 28 DAYS.
- 3.2 PROVIDE ALL FOUNDATIONS, SLAB ON GRADE, GRADE BEAMS, FOOTINGS, PIERS, FLATWORK AND APPURTENANCES AS REQUIRED TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- 3.3 VERIFY ALL REQUIRED FOUNDATION DROPS OR RECESSES FOR FIREPLACES, GARAGE, SPECIAL FLOORING, ETC.
- 3.4 SLOPE FINISHED FLOOR AT GARAGE AND EXTERIOR COVERED AREAS AWAY FROM THE BUILDING FOR DRAINAGE.
- 3.5 VERIFY THE MINIMUM FINISHED FLOOR ELEVATION TO COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY.
- 3.6 CONCRETE SLAB ON GRADE SHALL RECEIVE A SMOOTH TROWELED FINISH, SIDEWALKS, DRIVEWAYS AND OTHER HARDSCAPE SHALL RECEIVE A LIGHT BROOK FINISH.

## Division 4: Masonry

- 4.1 PROVIDE ALL REQUIRED MASONRY TO COMPLETE THE PROJECT.
- 4.2 ALL MASONRY, INCLUDING BUT NOT LIMITED TO BRICK, CONCRETE MASONRY, NATURAL STONE, CAST STONE, CONCRETE PAVERS, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING AUTHORITIES AND MANUFACTURERS' RECOMMENDATIONS/REQUIREMENTS.

## Division 5: Metals

- 5.1 PROVIDE ALL REQUIRED STRUCTURAL STEEL MEMBERS AND APPURTENANCES TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND APPLICABLE CODES.
- 5.2 ALL HOT-ROLLED STEEL SHAPES SHALL CONFORM TO ASTM A-36 STEEL PIPE TO ASTM A501, GALVANIZED STEEL SHALL CONFORM TO ASTM A525, 690. ALL WELDS SHALL BE CONFORM TO A MINIMUM OF CLASS 2.
- 5.3 ALL STRUCTURAL HARDWARE INCLUDING BUT NOT LIMITED TO JOIST HANGERS, STRAPS, TIES, HURRICANE ANCHORS, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURERS' REQUIREMENTS.

## Division 6: Woods

- 6.1 ALL FRAMING LUMBER SHALL BE #2 SYP-KO, EXCEPT THAT STUDS MAY BE STUD GRADE. ALL WALL FRAMING SHALL SPACE STUDS NO MORE THAN 16" O.C.
- 6.2 SECOND FLOOR FRAMING SHALL BE 16" WOOD TRUSSES U.N.O. PLACED ACCORDING TO ENGINEER DRAWINGS AND THE MANUFACTURERS' INSTRUCTIONS.
- 6.3 SUB FLOOR MATERIAL OVER ANY SPANS SHALL BE 3/4" TONGUE AND GROOVE STURD-FLOOR, GLUED AND SCREWED TO FRAMING.
- 6.4 ROOF FRAMING SHALL BE 2X6 AND 2X8 #2 SYP-KO RAFTERS PLACED AT 16" O.C. WITH 2X8 AND 2X10 RIDGE BEAMS AND 2X10 VALLEY BEAMS. PROVIDE RIDGE VENTS AND SOFTW VENTS.
- 6.5 EXTERIOR SHEATHING SHALL BE 1/2" CDX PLYWOOD OR OSB WITH "TYXER" BUILDING WRAP TAPED AND SEALED PER THE MANUFACTURERS' RECOMMENDATIONS.
- 6.6 ROOF DECK SHALL BE MINIMUM 7/16" CDX PLYWOOD OR OSB, INSTALLED WITH PLYWOOD CLIPS.
- 6.7 ALL FRAMING DIMENSIONS ARE FROM FACE OF STUD OR TO CENTERLINES OF OPENINGS.
- 6.8 VERIFY LOCATION AND PLATE HEIGHT OF ALL DORMERS, ATTICS, POPEY WALLS, STORAGE ELEMENTS, ETC. IN THE FIELD.
- 6.9 VERIFY STAIR FRAMING PRIOR TO PLACEMENT. ALL STAIR FRAMING SHALL BE PER THE REQUIREMENTS OF THE GOVERNING AUTHORITY. MINIMUM CLEAR HEAD HEIGHT AT STAIRS SHALL BE 6'-10".
- 6.10 HAND RAIL AT INTERIOR STAIR SHALL BE 36" HIGH WITH MAXIMUM 4" BETWEEN STILES. GUARD RAIL AT INTERIOR AND EXTERIOR BALCONY SHALL BE 42" HIGH WITH MAXIMUM 4" BETWEEN STILES.
- 6.11 INTERIOR WOOD TRIM, MILLWORK AND FINISHED CARPENTRY SHALL COMPLY WITH ARCHITECTURAL WOODWORK QUALITY STANDARDS AS PUBLISHED BY ARCHITECTURAL WOODWORK INSTITUTE (AWI) AND BE CUSTOM GRADE.
- 6.14 EXCEPT AS OTHERWISE SHOWN, PROVIDE DOOR AND WINDOW HEADERS PER THE FOLLOWING SCHEDULE:
- | MAXIMUM SPAN SIZE |
|-------------------|
| 2'-6" 2-2x4       |
| 4'-6" 2-2x6       |
| 6'-0" 2-2x8       |
| 7'-6" 2-2x10      |

## Division 7: Thermal & Moisture Protection

- 7.1 PROVIDE ALL MATERIALS NECESSARY FOR COMPREHENSIVE MOISTURE PROTECTION, INCLUDING FLASHING, COUNTER FLASHING, VAPOR BARRIERS, HOUSE WRAP, GUTTERS, DOWNSPOUTS, AND SEALERS TO ASSURE WATER TIGHTNESS OF THE ENTIRE BUILDING, INCLUDING BUT NOT LIMITED TO ROOF AND WALL ASSEMBLIES, CHIMNEYS, CHIMNEY CAPS, UNDER SLAB, WINDOWS, DOORS, AND OTHER OPENINGS/PENETRATIONS.
- 7.2 ROOFING SHALL BE MINIMUM 30 YEAR RATED ASPHALT SHINGLES OR METAL ROOF ON 15LB ASPHALT FELT UNDERLAYMENT.
- 7.3 PROVIDE FIBERGLASS BATT THERMAL INSULATION IN ALL EXTERIOR WALLS. PROVIDE BATT OR BLOWN INSULATION ABOVE ANY CEILINGS AT UNCONDITIONED SPACE.
- 7.4 FINISHED EXTERIOR WALL ASSEMBLY SHALL PROVIDE A THERMAL INSULATION VALUE RATING OF NOT LESS THAN R-13.
- 7.5 FINISHED ROOF ASSEMBLY SHALL PROVIDE A THERMAL INSULATION VALUE RATING OF NOT LESS THAN R-30.
- 7.6 VERIFY THAT THERMAL INSULATION DOES NOT BLOCK PROPER VENTILATION OF ROOF ASSEMBLY.
- 7.7 PROVIDE THERMAL INSULATION AT ALL HOT WATER PIPES PER THE REQUIREMENTS OF THE GOVERNING AUTHORITY. PROVIDE THERMAL INSULATION AT ALL WATER PIPES IN ATTIC, EXTERIOR WALLS, AND UNHEATED SPACES.
- 7.8 EXTERIOR SIDING AND TRIM BOARDS SHALL BE FIBER CEMENT LAP SIDING AND TRIM BOARDS.

## Division 8: Doors & Windows

- 8.1 PROVIDE FIRST QUALITY WINDOWS AND DOORS. ALL WINDOW AND DOOR SIZES ARE NOMINAL. REFER TO MANUFACTURER SPECS FOR ACTUAL SIZES.
- 8.2 MINIMUM NET CLEAR OPENING AT EGRESS WINDOWS SHALL BE 5.7 S.F. WITH SILL 36" A.F.F. MAX.
- 8.3 ALL HABITABLE ROOMS SHALL HAVE NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS PER THE REQUIREMENTS OF THE GOVERNING AUTHORITY.
- 8.4 ALL GLASS WITHIN 24" OF EGRESS DOORS OR 18" OF FLOOR SHALL BE SAFETY GLAZED. ALL FRENCH DOORS AND GLASS BATH ENCLOSURES SHALL ALSO BE SAFETY GLAZED.
- 8.5 UNDERCUT DOOR OF LAUNDRY TO ALLOW ADEQUATE GAS APPLIANCE VENTILATION.
- 8.6 PROVIDE ALL NECESSARY HARDWARE TO COMPLETE THE PROJECT INCLUDING HINGES, LOCKS, DEAD BOLTS, DOOR STOPS, KNOBS, PULLS, KEYS, ETC.

## Division 9: Finishes

- 9.1 INTERIOR WALLS AND CEILINGS SHALL BE 1/2" GYPSUM BOARD ON FIRST AND SECOND FLOORS, WHERE CEILING HEIGHT EXCEEDS 10'-0" 5/8" GYPSUM BOARD SHALL BE USED.
- 9.2 ON WALLS AND CEILINGS BELOW ALL STAIRS TYPE X FIRE - RATED GYPSUM BOARD SHALL BE USED.
- 9.3 INTERIOR WALLS AT TUB AND SHOWER ENCLOSURES SHALL BE 1/2" TILE BACKER BOARD.
- 9.4 ALL DRYWALL TO BE TAPED, FLOATED, AND SANDED TO PRESENT A SMOOTH SURFACE, FREE OF IRREGULARITIES AND IMPERFECTIONS.
- 9.5 PRIME AND PAINT WITH HIGH QUALITY MATERIALS AS REQUIRED TO ACHIEVE PROPER COVERAGE AND FINISH. WALLS AND CEILINGS SHALL BE PAINTED WITH LATEX PAINT. TRIM AND MILLWORK SHALL BE PAINTED WITH ENAMEL. CONFIRM COLORS, SHEENS AND TEXTURE TYPE WITH OWNER.
- 9.6 PROVIDE ALL STONE, TILE, CARPET, WOOD, AND OTHER FLOOR FINISH MATERIALS NECESSARY TO COMPLETE THE PROJECT.
- 9.7 PROVIDE ALL KITCHEN, BATH, BAR, ETC., COUNTERTOP AND BACKSPLASH FINISH MATERIALS NECESSARY TO COMPLETE THE PROJECT.

## Division 10: Specialties

- 10.1 PROVIDE ALL BATH ACCESSORIES TO COMPLETE THE PROJECT, INCLUDING BUT NOT LIMITED TO TOILET PAPER HOLDERS, MIRRORS, AND TOWEL BARS.

## Division 11: Equipment

- 11.1 PROVIDE ALL NECESSARY EQUIPMENT AND APPLIANCES TO COMPLETE THE PROJECT.
- 11.2 ENSURE ADEQUATE CLEARANCES IN ACCORDANCE WITH THE MANUFACTURERS' REQUIREMENTS AT ALL EQUIPMENT AND APPLIANCES.
- 11.3 PROVIDE UTILITY CONNECTIONS IN RECESSED WALL BOXES FOR ALL APPLIANCES AND EQUIPMENT REQUIRING WATER AND/OR GAS.

## Division 15: Mechanical

- 15.1 PROVIDE ALL COMPONENTS FOR COMPLETE PLUMBING SYSTEMS AS REQUIRED, INCLUDING BUT NOT LIMITED TO ALL FITTINGS AND PIPING FOR WATER, WASTE AND VENTS AS WELL AS ALL CLEANDRUIS, VALVES, DRAINS, AND APPURTENANCES.
- 15.2 PROVIDE ALL PLUMBING FIXTURES TO COMPLETE THE PROJECT, INCLUDING TOILETS, SINKS, FAUCETS, BATHTUBS, SHOWERS, VALVES, APPLIANCES, EQUIPMENT AND APPURTENANCES.
- 15.3 PROVIDE AND INSTALL WATER HEATER WITH METAL DRIP PAN AND RELIEF LINE (SECONDARY DRAIN) AS REQUIRED TO TERMINATION AT EXTERIOR WALL.
- 15.4 INSTALL ALL PLUMBING AND GAS EQUIPMENT PER APPLICABLE CODES AND MANUFACTURER REQUIREMENTS
- 15.5 VERIFY LOCATION OF ALL WATER AND SEWER LINES PRIOR TO FOUNDATION PLACEMENT.
- 15.6 LAUNDRY FLOOR DRAIN SHALL TERMINATE AT SANITARY SEWER.
- 15.7 SECURE PIPING TO STRUCTURE WITH HANGERS AND STRAPS. PROVIDE SHOCK ABSORBING AIR CHAMBERS AT EACH FITTING.
- 15.9 ENSURE HVAC SYSTEM IS DESIGNED TO PROVIDE ALL-WEATHER INSIDE COMFORT LEVELS IN ACCORDANCE WITH ARI, STANDARDS, HIGH EFFICIENCY HVAC UNITS SHALL BE INSTALLED PER APPLICABLE CODES AND MANUFACTURER REQUIREMENTS
- 15.10 SUMMER OUTSIDE TEMP. = 96 DEG. F INSIDE TEMP. = 72 DEG. F WINTER OUTSIDE TEMP. = 20 DEG. F INSIDE TEMP. = 75 DEG. F
- 15.11 PROVIDE ALL REQUIRED CONDENSING UNITS, DUCTWORK, RETURN AND SUPPLY GRILLES, THERMOSTAT CONTROLS, CONDENSATE PANS AND DRAINS, ELECTRICAL, ETC. TO COMPLETE THE PROJECT.
- 15.12 ALL DUCTWORK SHALL BE INSULATED RIGID METAL, DUCTBOARD OR FLEX PER APPLICABLE CODES WITH SUPERIOR QUALITY GUILLES.
- 15.15 ALL HVAC EQUIPMENT SHALL BE LOCATED TO PREVENT NOISE AND VIBRATION. HVAC CONDENSING UNITS SHALL BE LOCATED ON CONCRETE PADS.
- 15.17 ALL MECHANICAL EXHAUSTS SHALL BE INSTALLED PER MANUFACTURER REQUIREMENTS AND SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING.
- 15.18 PROVIDE EQUIPMENT ACCESS SPACE AND POSITIVE ATTIC VENTILATION AS REQUIRED.

## Division 16: Electrical

- 16.1 PROVIDE ALL COMPONENTS FOR COMPLETE ELECTRICAL SYSTEMS AS REQUIRED, INCLUDING BUT NOT LIMITED TO ALL SWITCHES, RECEPTACLES, CONDUITS, OUTLET AND JUNCTION BOXES, BREAKER PANELS, GFCI RECEPT ACES, ETC.
- 16.2 VERIFY THE PROPER PLACEMENT OF ALL ELECTRICAL EQUIPMENT, INCLUDING RECEPTACLE AND SWITCH HEIGHTS.
- 16.3 ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH BATTERY BACKUP.
- 16.4 PROVIDE GFCI RECEPTACLES AS REQUIRED BY THE GOVERNING AUTHORITIES. PROVIDE WATERPROOF GFCI RECEPTACLES ON THE EXTERIOR.
- 16.5 PRE-WIRE TELEPHONE, TELEVISION AND DATA.

Designer:  
Alyson Wilson, Inc.  
55 Champions Court Place  
Houston, TX 77069  
713.540.6601

The General Contractor is responsible for obtaining all local jurisdiction  
permits and is responsible for means and methods. The General  
Contractor is responsible for all subcontractors and vendors.

Contractor:  
Vintage Homes  
921 Columbia  
Houston, TX 77008  
713.417.4217

Structural Engineer  
Henry E. Segura P.E.  
Professional Engineer  
9827 Sagecress Lane  
Houston, TX 77089-3501  
281.935.6020

1133 WINSTON STREET  
Houston, TX 77009  
GENERAL NOTES

Issue/Revision:  
01.30.16 ISSUE FOR REVIEW

Drawing Description:

GENERAL  
NOTES

Dwg Name:  
Layer mgr: XX Sheet No:

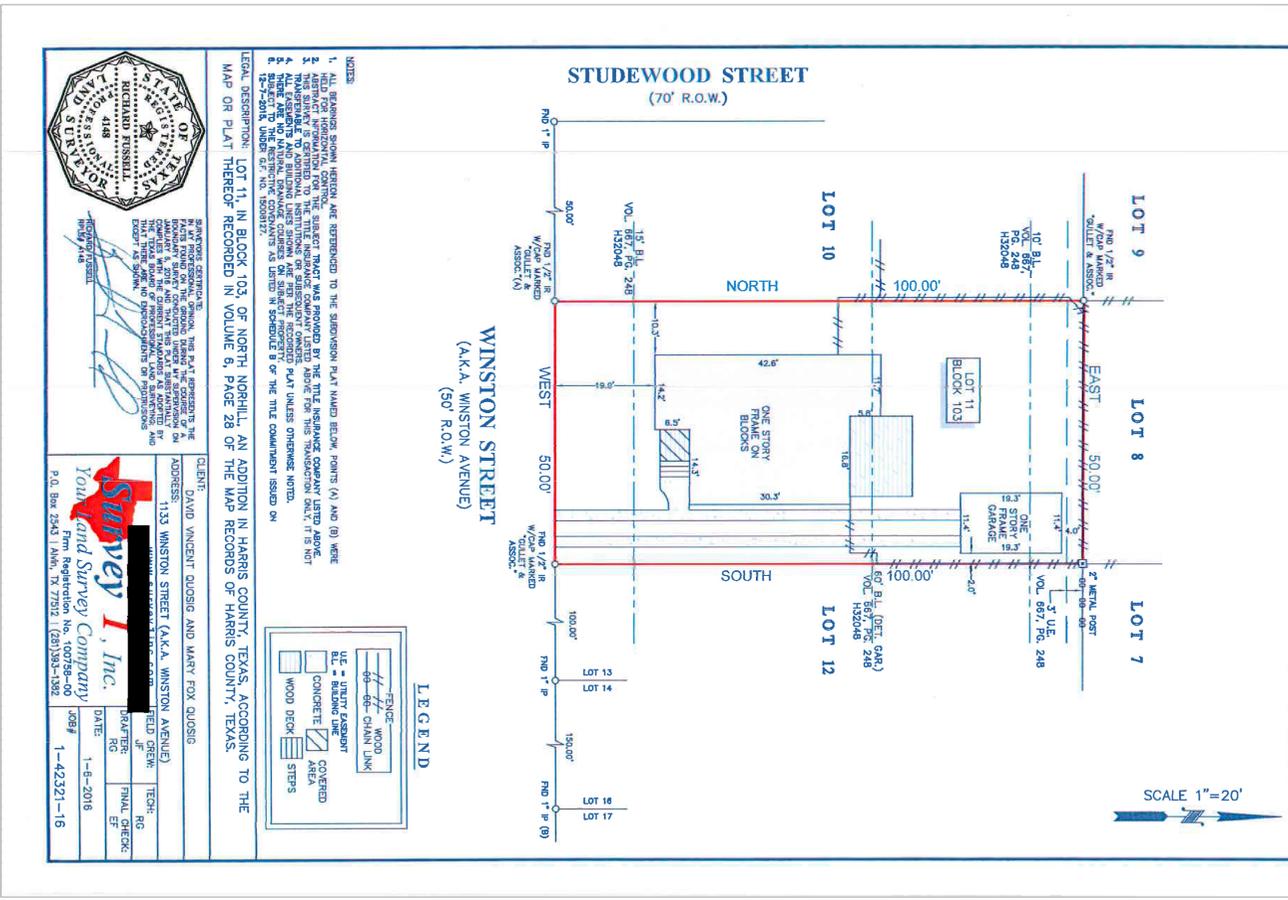
Scale:  
AS NOTED

Drawn by:  
A 0.1

Proj. Mgr:  
Date: 1.12.15

TITLE COMPANY:  
**Fidelity National Title**  
 Insurance Company

G.F. #: 15009277  
 ISSUE DATE: 12-7-2015  
 713-966-4050



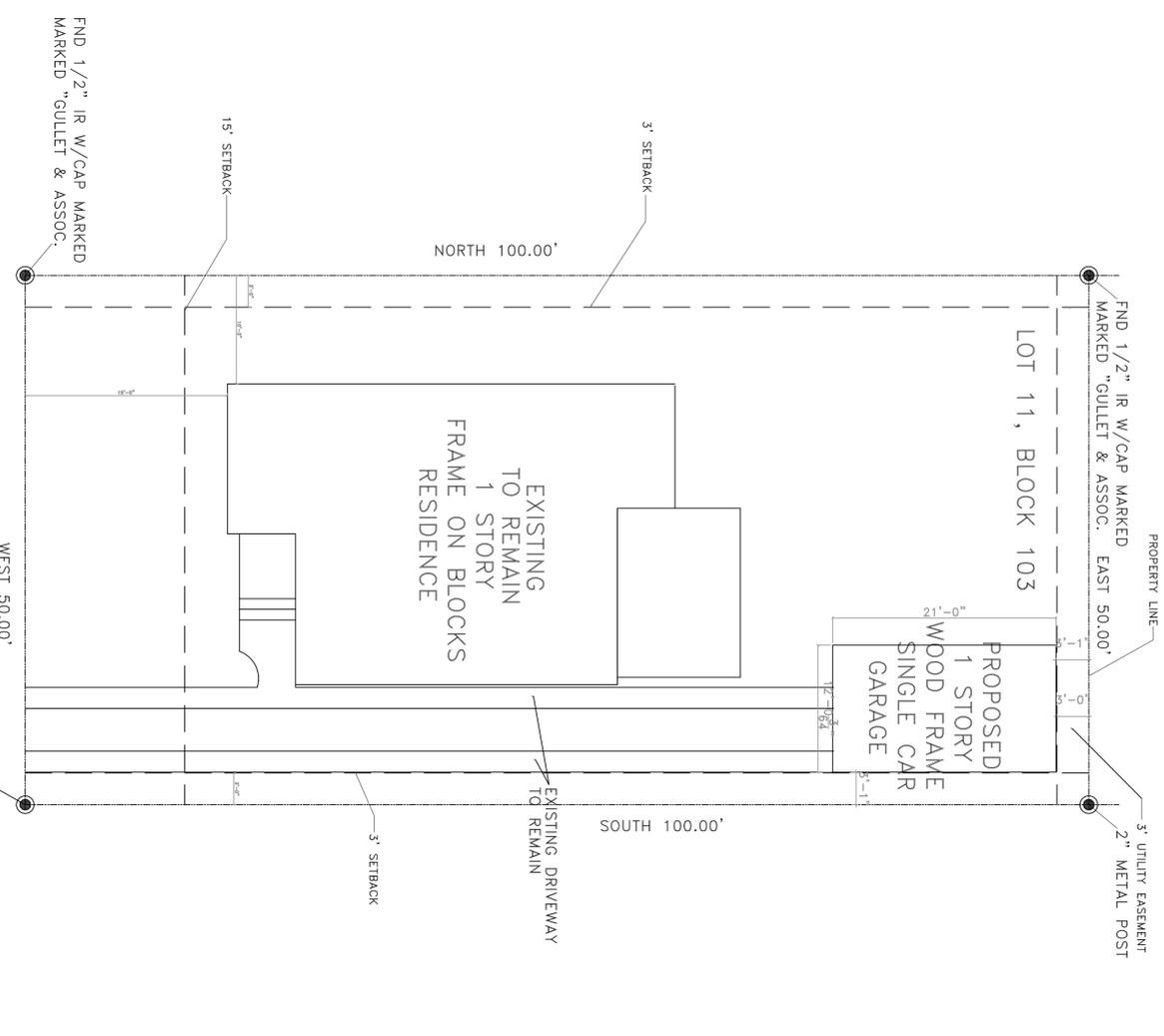
STATE OF TEXAS  
 COUNTY OF HARRIS  
 SURVEY 418

Survey 1, Inc.  
 Your Land Survey Company  
 Firm Registration No. 100758-00  
 P.O. Box 2543 | Alhambra, TX 77012 | (281) 933-1392

DATE: 1-6-2016  
 JOB#: 1-42321-16

NOTES:  
 1. ALL REVISIONS SHOWN HEREON ARE REFERENCED TO THE DESCRIPTION, BUT HAVED BELOW POINTS (A) AND (B) WHERE APPLICABLE.  
 2. FIELD FOR HORIZONTAL CONTROL, BEING THAT HAS PROVIDED BY THE TITLE INSURANCE COMPANY LATER ADJUSTED TO THE SURVEY IS REFERRED TO THE TITLE INSURANCE COMPANY LATER ADJUSTED TO THE SURVEY.  
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 9. THIS SURVEY IS REFERRED TO THE TITLE INSURANCE COMPANY LATER ADJUSTED TO THE SURVEY.  
 10. THIS SURVEY IS REFERRED TO THE TITLE INSURANCE COMPANY LATER ADJUSTED TO THE SURVEY.

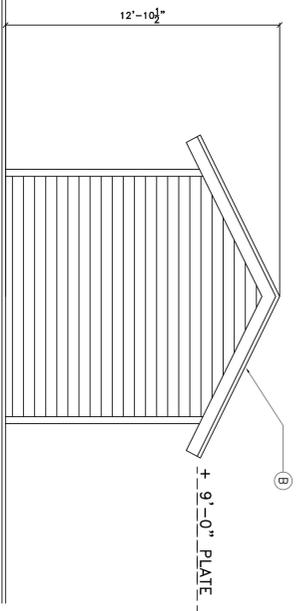
01 SURVEY 1/8" = 1'-0"



SITE NOTES:  
 1. All drawings presented here reference the IRC 2006 Building Codes, w/ City of Houston amendments.  
 2. Finished floor elevation shall be a minimum of 12" above the top of the nearest adjacent finished grade.  
 3. Elevation of the nearest sanitary sewer manhole cover is assumed to be 100.0'.  
 4. Curb elevation (as referenced) taken from top of the curb.  
 5. Builder shall approve location of house on lot and to verify all utility locations, all easements, building, block, face and setback lines PRIOR to construction.  
 6. Plumber shall connect into existing sanitary sewer. Piping to be sch. 40 P.V.C. (or equal).  
 7. Electrician to run three underground conduits from source pole or transformer to location specified by Contractor for:  
 a. Telephone service  
 b. Telephone service  
 c. cable service (at the same location)  
 8. All drainage and runoffs shall be collected on site to an underground system or directed onto adjacent properties. Drain piping shall be sch. 40 P.V.C. (or equal).  
 9. Provide one qualified tree per 5000 sq. ft. of lot size.  
 10. Install/locate gas and electric meter such that face of meter is min 3' from property line.

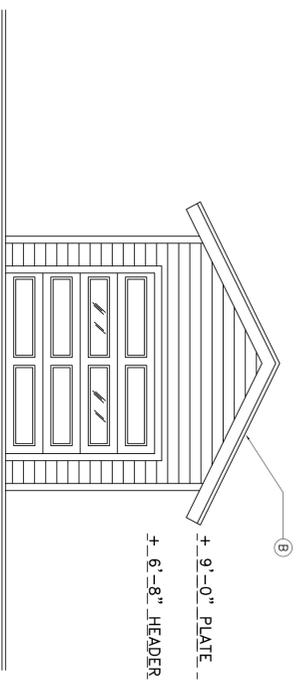
02 NEW SITE PLAN 1/8" = 1'-0"

<p>Designer:          Alyson Wilson, Inc.          55 Champions Court Place          Houston, TX 77069          713.540.6601</p>	<p>Contractor:          Vintage Homes          921 Columbia          Houston, TX 77008          713.417.4217</p>	<p>Structural Engineer          Henry E. Segura P.E.          Professional Engineer          9827 Sageaspens Lane          Houston, TX 77089-3501          281.935.6020          PE 44619</p>
<h1>1133 WINSTON STREET</h1> <p>Houston TX 77009</p> <h2>SITE PLAN</h2>		
<p>Issue/Revision:          011.30.16: ISSUE FOR REVIEW</p>	<p>Dwg Name:          Layer mgt: XX          Scale: AS NOTED          Drawn by:          Proj Mgr:          Date: 2015</p>	<p>Sheet No:  <b>A 1.0</b></p>



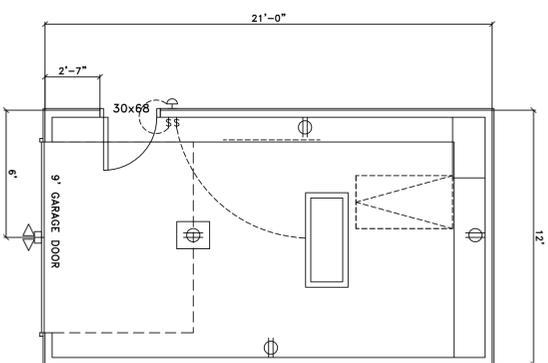
01 GARAGE ELEVATION – BACK

1/4" = 1'-0"



02 GARAGE ELEVATION – FRONT

1/4" = 1'-0"



- ELECTRICAL LEGEND**
- ⊕ DUPLEX OUTLET
  - ☐ 2X4 FLUORESCENT
  - ⊕ WALL SCONCE LIGHT FIXTURE
  - ⊕ EXTERIOR LIGHT w/ MOTION SENSOR

**ELECTRICAL NOTES**

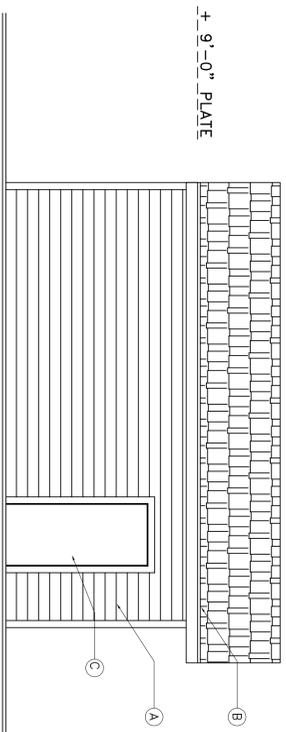
All switches shall be mounted at 42" above finish floor to centerline unless otherwise noted.

All outlets shall be mounted at 12" above finish floor to centerline unless otherwise noted.

Plan denotes specific outlet and switch location. Additional outlets and switches shall be provided as needed and installed by electrician.

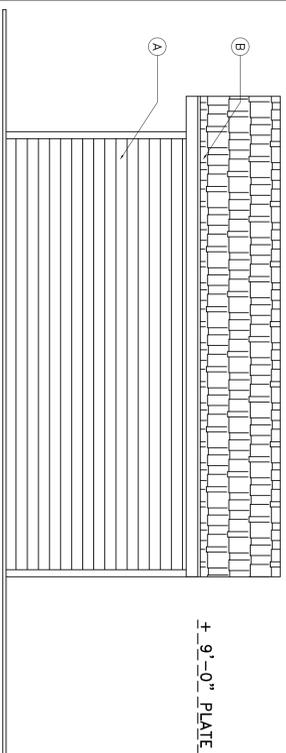
03 ELECTRICAL PLAN

1/4" = 1'-0"



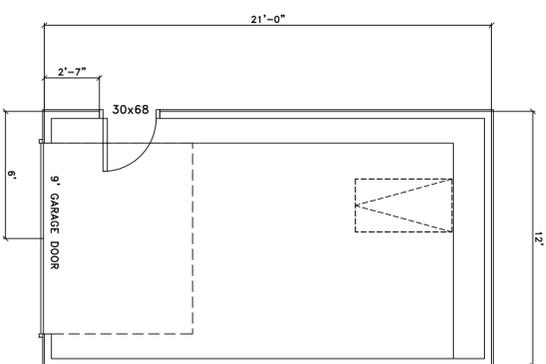
04 GARAGE ELEVATION – LEFT

1/4" = 1'-0"

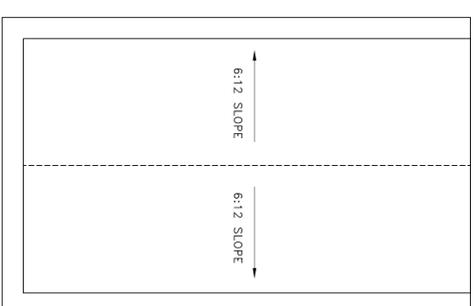


05 GARAGE ELEVATION – RIGHT

1/4" = 1'-0"



06 GARAGE CONST. PL. 1/4" = 1'-0"



07 GARAGE ROOF PLAN 1/4" = 1'-0"

Issue/Revision:  
01,30,16 ISSUE FOR REVIEW

1133 WINSTON STREET  
Houston, TX 77009  
GARAGE PLAN & ELEVATIONS

1. Do not scale drawings. Written dimensions take precedence. Contractor shall verify and be responsible for all dimensions and conditions on the job and notify Designer of any variations from the dimensions or conditions shown on the drawings presented herein.
2. All written notes on these drawings shall take precedence over the minimum standard notes detailed on the last sheet of these drawings.
3. Ceiling heights taken from where the note is located on plan.
4. All floor drains to have overflow pan with relief.
5. Provide plumbing access panel at all bathtubs as per IRC 2012 Sect. .P2704.1
6. All glass at tubs and showers shall be tempered safety glass and to comply with IRC 2012 Sect R308.
7. See stair notes and details on A4.2.
8. Provide attic access with a minimum clear opening of 22" x 30". Provide capacity of 350 lbs. See IRC sect. R807.1.
9. Locate water heater(s) in attic above a load bearing partition in a pan with a relief line to outside or storm sewer line. Installation shall comply with IRC 2012 Chapter 28.
10. Locate HVAC equipment in attic unless otherwise noted.

08 PLAN NOTES

11. Provide 24" wide plywood walkway to access all mechanical equipment located in attic. Maximum distance from attic access to equipment shall not exceed 20'-0". Provide a 30" wide service platform at service side of all equipment in attic.
12. All insulation shall have a flame spread rating not to exceed 25 and a smoke density rating not to exceed 450 as per IRC 2012 sect R302.10.
13. Provide adequate furring so vent and soil pipes do not penetrate plates. All plumbing vents shall exit through a roof plane that slopes to the back.
14. Plumbing walls shall be 2x6 unless otherwise noted. Plumber shall use only 2x6 walls (Type B) for any plumbing that is larger than 3".
15. Smoke detectors are located on Electrical.
16. Minimum class B roofing and no openings within 5 feet of common wall.
17. All guardrails shall conform to IRC 2012 sect R312
18. All exterior walls are to be minimum 2 x 4 unless dimensioned or noted otherwise.
19. Methods of termite protection if required by IRC table R301.2 shall be in accordance with section R318.
20. Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface to a height of not less than six feet above the floor according to R307.2.

09 ELEVATION NOTES

- (A) Cementitious Siding. Re: Contractor For Specs. (TYP)
- (B) Class "A" composition shingles over 15# felt and 7/16" OSB roof decking. Re: Contractor for specs and color.
- (C) Windows & doors as per plan and/or schedule (flash per manuf. specs and code) typical.

**Designer**  
Alyson Wilson, Inc.  
55 Champions Court Place  
Houston, TX 77069  
713.540.6601

**Contractor**  
Vintage Homes  
921 Columbia  
Houston, TX 77008  
713.417.4217

**Structural Engineer**  
Henry E. Segura P.E.  
Professional Engineer  
9827 sagespen lane  
Houston, TX 77089-3501  
281.935.6020

**GARAGE PLAN & ELEVATIONS**

DwgName: Garage Plan & Elevations  
Layer\_mgr: XX  
Scale: AS NOTED  
Drawn by: A  
Prof\_Mgr: A  
Date: 2015

Sheet No: A 1.1



**Designer**  
 Alyson Wilson  
 55 Champions Court Place  
 Houston, TX 77069  
 713.540.6601

**Contractor**  
 Vintage Homes  
 921 Columbia Street  
 Houston, TX 77008  
 713.417.4217

**Structural Engineer**  
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 Professional Engineer  
 9827 Sagecrespen Lane  
 Houston, TX 77089  
 281.935.6020

The Owner/Contractor is responsible for obtaining all all local jurisdiction permits and approvals. The Engineer is not responsible for obtaining these permits. The Contractor is responsible for all subcontracting and providing.

# 1133 WINSTON STREET

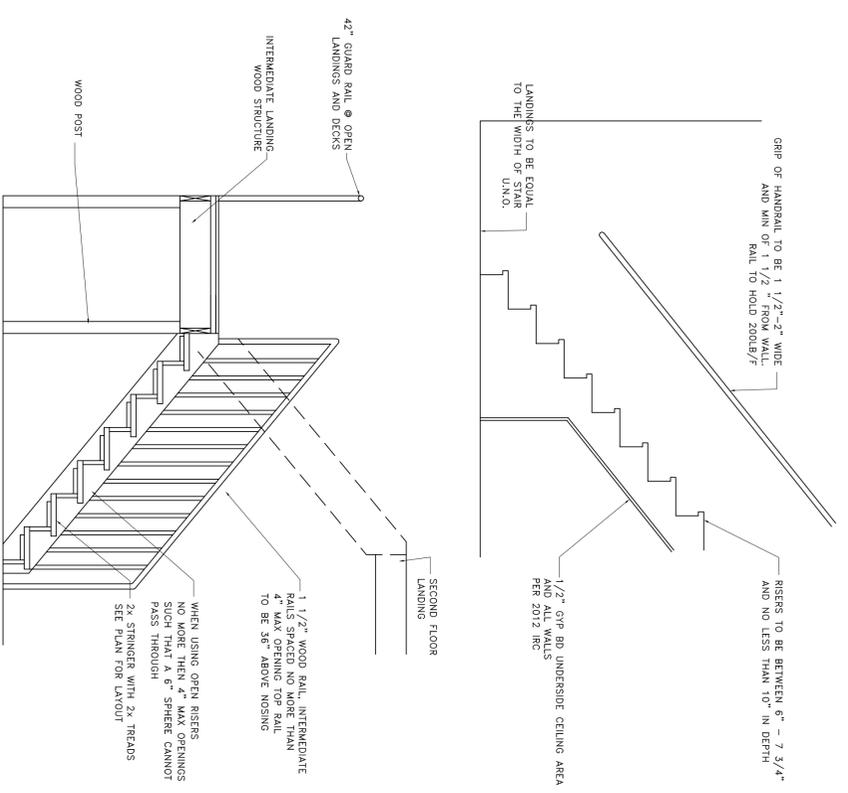
Houston, TX 77009

## FRAMING DETAILS

Issue/Revision:  
 01.30.16 ISSUE FOR REVIEW

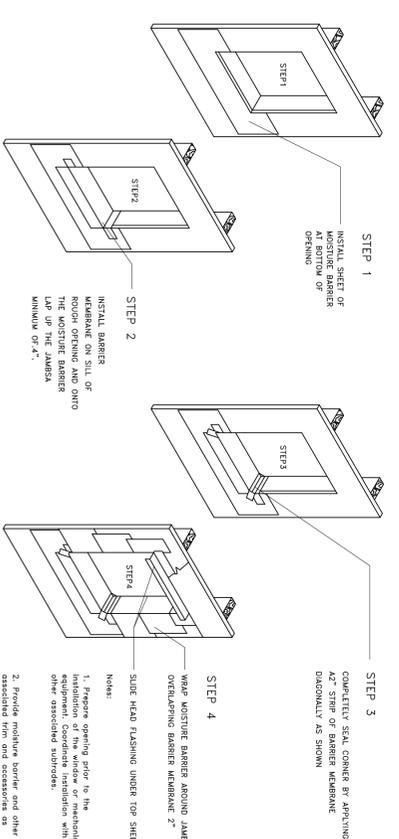
Drawing Description:  
**FRAMING DETAILS**

Drawn by: AS NOTED  
 Scale: AS NOTED  
 Date: 2015

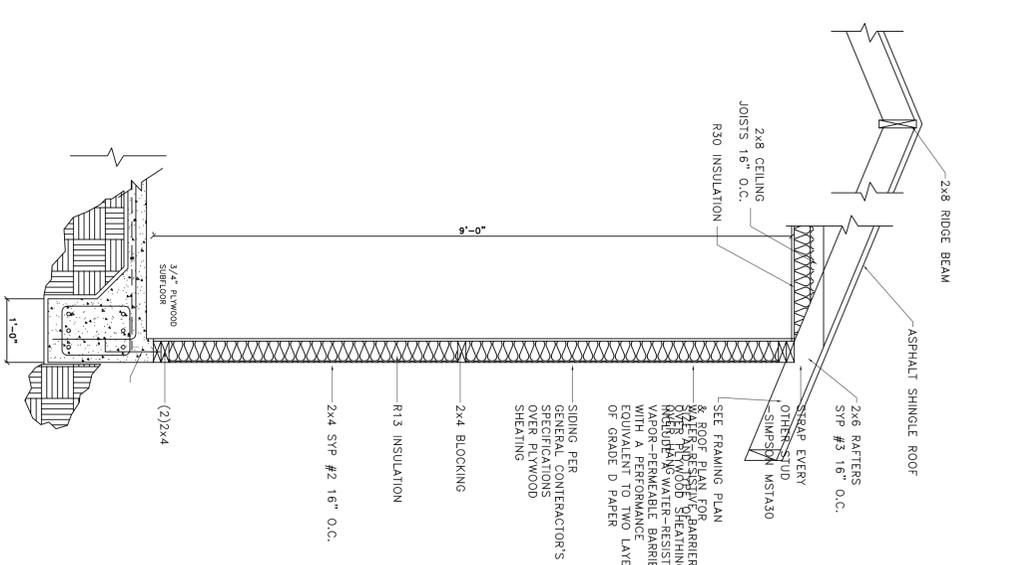


- NOTES:**
1. STAIRWAYS TO COMPLY WITH IRC 2012, TABLE R301.5, SECT R301.5, R311 & R312.
  2. HANDRAILS TO BE 34" TO 38" ABOVE NOSING PER IRC 2012 - R311.5.6.1
  3. GUARDRAILS TO BE 36" TO 42" A.F.F. AND MUST BE CAPABLE OF WITHSTANDING BEYOND LOADS OF 50 LBS PER LINEAL FOOT AND 50 FT. AND THE SPACE BETWEEN GUARDRAILS SHALL BE NO MORE THAN 4" PER IRC 2012 R312.5.1.2.2
  4. HAND GRIPPING PORTION OF HANDRAILS SHALL BE BETWEEN 1 1/4" AND 2" DIA. OR SHALL PROVIDE THE EQUIVALENT GRASPING SURFACE PER IRC 2012 - R311.5.6.3
  5. HANDRAIL SHALL BE CONTINUOUS. THE FULL LENGTH OF THE STAIRS AND SHALL EXTEND NO LESS THAN 6" BEYOND TOP & BOTTOM RISERS, AND SHALL TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL PER IRC 2012 - R311.5 HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 1/2" ON EITHER SIDE OF THE STAIRWAY IRC 2012 - R311.5.6.2.
  6. IF THE UNDERSIDE OF STAIRWELL IS CLOSED OFF, PROVIDE 1/2" TYPE 'X' FIRE RATED GYP BD TO UNDERSIDE OF STAIRS PER 2012 - R311.2.2
  7. NEWEL POSTS AND RAILING TERMINATIONS INTO SHALL BE LOCATED NO HIGHER THAN 42" ABOVE FINISHED FLOOR.
  8. MINIMUM CLEAR WIDTH BETWEEN AND BELOW HANDRAILS SHALL BE 27" DOUBLE AND 31" 1/2" SINGLE RAIL PER IRC 2012 R311.5.1
  10. EXTERIOR GUARDS TO HAVE NO LESS THAN 36" DISTANCE FROM TOP OF GUARD TO BOTTOM OF LOWEST RUNNER. MAX UNSUPPORTED SPAN OF LOWEST RUNNER SHALL BE 6'-0"
  11. MINIMUM RISER HEIGHT IS 7 3/4". MINIMUM TREAD DEPTH IS 10" PER IRC 2012 R311.5.3.2
  12. MINIMUM HEADROOM IN ALL PARTS OF THE STAIR SHALL NOT BE LESS THAN 6'8" FINISHED HF. MEASURED VERTICALLY FROM THE SLOPED PLANE TO TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING PER IRC 2012 R311.5.2

### 03 STAIR DETAIL



### 04 TYPICAL EXTERIOR OPENINGS

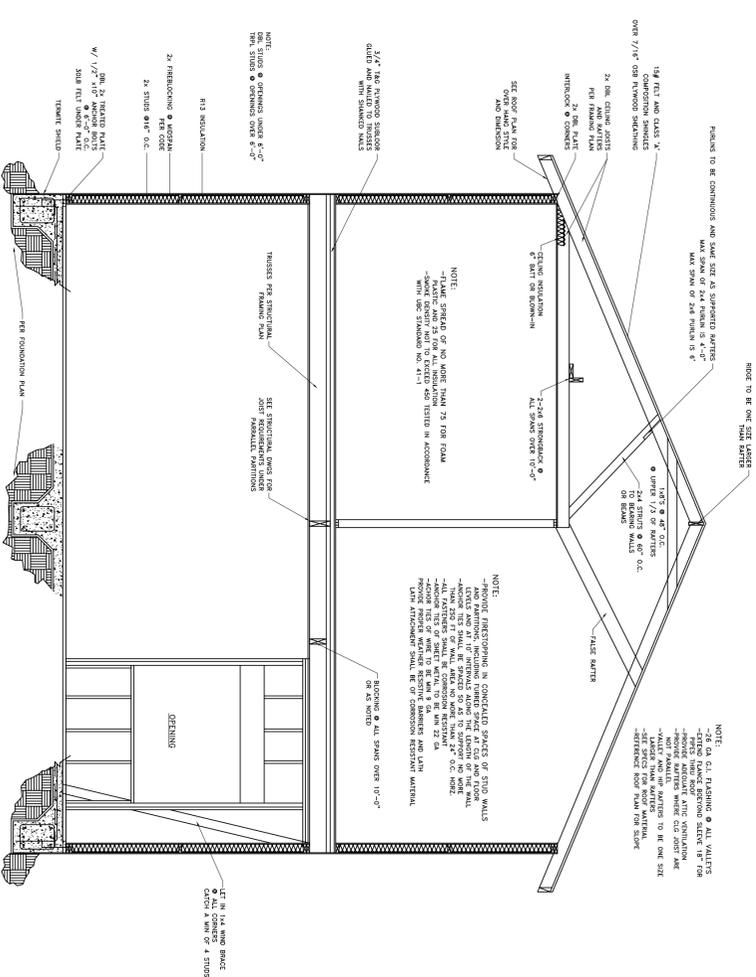


2012 IRC Sill and sleepers on a concrete or masonry slab and is in direct contact with the wood that is preservative treated in accordance with AWPA U1 for the species unless separated from such slab by an impervious moisture barrier.

**1 HR FIRE RATED WALLS**  
 2x4 16" O.C.  
 5/8" TYPE X GYP BD, BOTH SIDES  
 EXTERIOR SIDE, MIN 15/32 OSB  
 3 1/2" R-13 BATT INSUL W/ VAPOR RETARDING FOIL  
 2 1/4" #6 TYPE S DRYWALL SCREWS, 12" OC  
 ALL WALLBOARD JOINTS PAPER TAPED & JOINT COVERED W/ JOINT COMPOUND

TESTS CONDUCTED AT THE FINE TEST LABORATORY ON NATIONAL GYPSUM RESEARCH CENTER TEST NO: WP -1246 (FIRE ENDURANCE) WP -1246 (MOISTURE STREAM)

### 02 EXTERIOR WALL SECTION



### 01 TYPICAL BUILDING SECTION

**Designer**  
 Alyson Wilson, Inc.  
 55 Champions Court Place  
 Houston, TX 77069  
 713.540.6601

The General Contractor is responsible for obtaining all local jurisdiction Designer is not responsible for obtaining all local jurisdiction Contractor is responsible for all subcontracting and procedures.

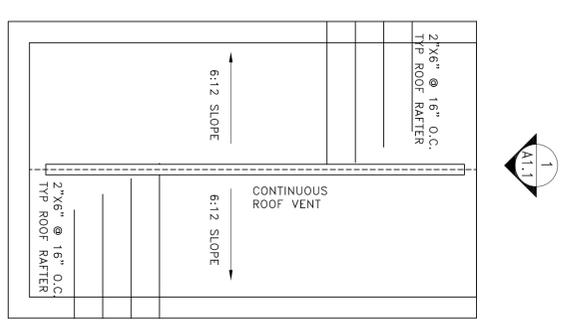
**Contractor**  
 Vintage Homes  
 921 Columbia  
 Houston, TX 77008  
 713.417.4217

**Structural Engineer**  
 Henry E. Segura P.E.  
 Professional Engineer  
 9827 sagedassen lane  
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 281.935.6020

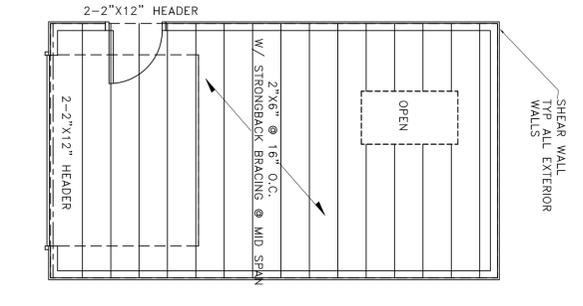
1133 WINSTON STREET  
 Houston, TX 77009

GARAGE STRUCTURAL PLANS & NOTES

Issue/Revision:	01.30.16 ISSUE FOR REVIEW
Drawing Description:	GARAGE STRUCTURAL PLANS & NOTES
Proj Mgr:	2015
Layer:	mgfr: XX
Scale:	AS NOTED
Drawn by:	
Date:	2015
Sheet No.:	S 1.1

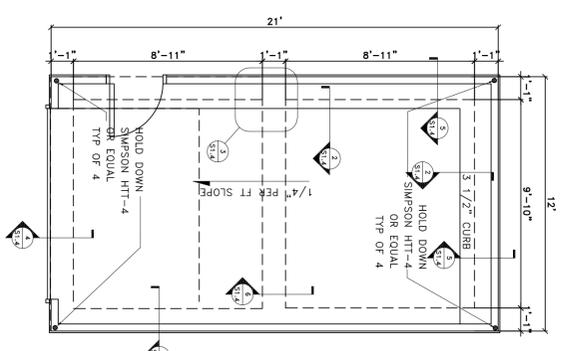


08 GARAGE ROOF PLAN 1/4" = 1'-0"



NOTE:  
 DESIGNED FOR  
 CITY OF HOUSTON  
 110 MPH, 3-SECOND GUST PER IRC  
 U.W.A. = UNDER WALL ABOVE

05 GARAGE CEILING PLAN 1/4" = 1'-0"



04 FOUNDATION - GARAGE 1/4" = 1'-0"

GENERAL FOUNDATION NOTES

1. SUBGRADE PREPARATION AND FILL: PROTECT TREES, FENCES, AND STRUCTURES TO REMAIN (INCLUDING THOSE ON ADJACENT PROPERTIES), CONTROL NOISE, DUST, AND DEBRIS.
2. PROVIDE ALL SURVEYING, STAKING AND LAYOUT TO PROPERLY LOCATE THE IMPROVEMENTS ON THE SITE.
3. STRIP AREAS WITHIN BUILDING LINES TO REMOVE ALL VEGETATION, TOP SOIL AND DEBRIS.
4. FOUNDING STRIPING, PROOF ROLL EXPOSED SUBGRADE IF NECESSARY TO VERIFY ANY WEAK OR SOFT ZONES. IF SUCH ZONES ARE DISCOVERED THEY SHALL BE REMOVED AND REPLACED WITH SELECT FILL.
5. ALL FILL SHALL BE SELECT MATERIAL FREE OF ORGANIC MATTER AS FOLLOWS:  
 LIQUID LIMIT (LL): 28 TO 40  
 PLASTICITY INDEX (PI): 0 TO 20
6. FILL SHALL BE PLACED IN MAXIMUM LOOSE LIFTS OF 8 INCHES, COMPACT TO AT LEAST 95% OF STANDARD PROCTOR DENSITY (ASTM D698 MAXIMUM DRY DENSITY) OR 2 PERCENTAGE POINTS ABOVE THE OPTIMUM MOISTURE CONTENT.
7. ALL COMPACTED FILL SHALL BE TESTED BY AN INDEPENDENT CERTIFIED TESTING AGENCY AT THE RATE OF ONE TEST PER 1,000 SQUARE FEET OF EACH LIFT.

SITE DRAINAGE:

1. ALL SITE PREPARATION SHALL PROMOTE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS. ALL DRAINAGE AND RUNOFF SHALL BE DIRECTED TO THE STREET, NO PONING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE DURING OR AFTER COMPLETION OF THE CONSTRUCTION & LANDSCAPING.

CONCRETE:

1. ALL CONCRETE WORK SHALL BE COMPLETED IN ACCORDANCE WITH ACI 318-99: BUILDING CODE REQUIREMENT FOR STRUCTURAL CONCRETE, AND PER THE REQUIREMENTS OF THE GOVERNING AUTHORITIES.
2. ALL CONCRETE SHALL BE MINIMUM 3000 PSI AT 28 DAYS.
3. CONCRETE SHOULD BE PLACED IN THE FOOTINGS AND GRADE BEAMS PROMPTLY AFTER EXCAVATION
4. EXCAVATION FOR FOOTINGS AND GRADE BEAMS SHALL BE NEAT.
5. THERE SHALL BE NO PLUMBING LINES RUNNING PARALLEL TO WITHIN OR UNDER AND FOUNDATION BEAM.
6. PLACE A 6 MIL VAPOR BARRIER OF POLYETHYLENE UNDER ALL CONCRETE SLABS.
7. SEE ARCHITECTURAL DRAWINGS FOR FLOOR ELEVATIONS SLOPES AND THE LOCATION OF FLOOR DEPRESSIONS.

07 GENERAL NOTES 1/4" = 1'-0"

REINFORCING STEEL:

1. ALL REINFORCING BARS #4 AND LARGER SHALL CONFORM TO ASTM A-615 GRADE 60. ALL #2 AND #3 BARS, DOWELS AND STRIPPERS SHALL CONFORM TO GRADE 40 REINFORCING SHALL BE FREE FROM OIL, DIRT AND OTHER MATERIALS THAT WOULD REDUCE THE BOND WITH THE CONCRETE.
2. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND MUST BE CHAINED AT 4'-0" O.C. MAXIMUM EACH WAY.
3. DETAILS FABRICATION AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318-99 ACI DETAILING MANUAL REVISIONS TO STEEL COVERS:  
 GRADE BEAMS 1-1/2" TOP 3" BOTTOM AND SIDES  
 SLABS ON GRADE 1-1/2" TOP AND BOTTOM  
 WALLS 1-1/2"
4. LAP CONTINUOUS REINFORCING STEEL 36 BAR DIAMETERS.
5. SLAB REINFORCEMENT SHALL BE CHAINED AT 4' MAXIMUM SQUARE GRID GARBE BEAM BOTTOM REINFORCEMENT SHALL BE CHAINED AT 6' MAXIMUM SPACING.

CRAWL SPACE NOTES:

1. UNDERFLOOR CLEARANCE WOOD JOISTS CLOSER THAN 18 INCHES TO THE GROUND OR WOOD GIRDERS CLOSER THAN 12 INCHES TO THE GROUND AND THEIR SUPPORTS SHALL BE PROVIDED WITH A MINIMUM 18" X 24" ACCESS OPENING UNOBSTRUCTED BY PIPES DUCTS ETC. ALL UNDER-FLOOR ACCESS OPENINGS SHALL BE EFFECTIVELY SCREENED OR COVERED.
2. FOUNDATION VENTILATION UNDERFLOOR AREAS SHALL BE VENTILATED BY AN APPROVED MECHANICAL MEANS OR BY OPENINGS IN EXTERIOR FOUNDATION WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. OPENINGS SHALL BE LOCATED AS CLOSE TO CORNERS AS PRACTICABLE AND THE LENGTH OF AT LEAST TWO OPPOSITE SIDES.
3. INSULATION PROVIDE UNFACED BATTS UNDER CRAWL SPACE.

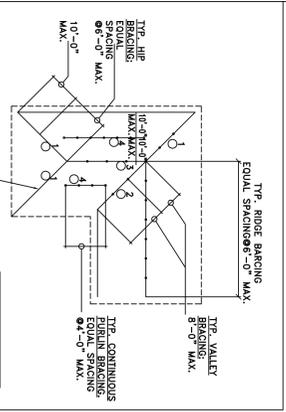
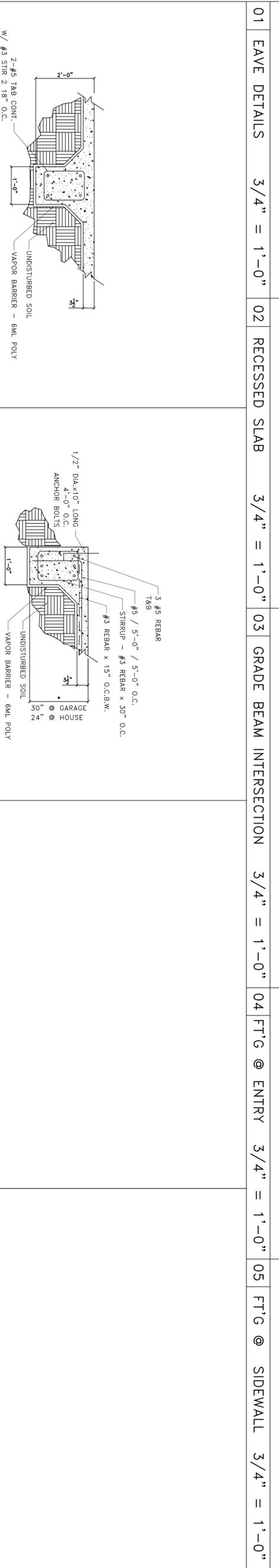
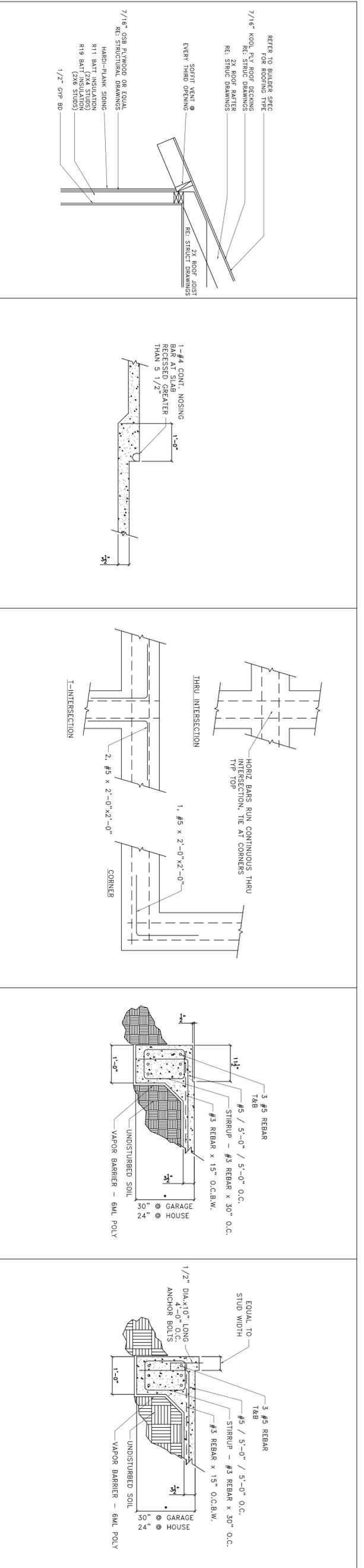


DIAGRAM: TYPICAL BRACE LOCATIONS (NOT TO SCALE)

08 FRAMING NOTES 1/4" = 1'-0"

PLAN NOTES

1. ALL BATTENS ARE 2x8 #2 S.P.F. AT 16" O.C. U.O.M.
2. BATTENS SHALL BE NAIL TO ADJACENT CEILING JOISTS TO FORM A CONTINUOUS TIE PARALLEL TO THE RAFTERS. BATTENS SHALL BE SPACED NOT MORE THAN 48" O.C.
3. REMOVE 2x6 COLLAR TIES AT 27" O.C. AT UPPER 1/3 OF ROOF.
4. DEPTH OF ROOF BEAM, HIP OR VALLEY AFTER:  
 A. SHALL BE ONE SIZE WIDER THAN THE LARGEST RAFTER FRAMING  
 B. SHALL MATCH OR EXCEED THE OUT END OF THE BATTEN.
5. REMOVE DOUBLE BATTENS UNDER ALL OTHER WALLS (U.O.M.).
6. ROOF BEING TO BE 1/2" O.S.B. WITH PAINT, SPAN RATING OF 24-40 S.B. RE: GENERAL NOTES FOR OTHER REQUIREMENTS.
8. RE: ARCH. DWGS FOR ROOF SLOPES & OTHER DATA NOT CONTAINED HEREIN.



01	EAVE DETAILS	3/4" = 1'-0"	02	RECESSED SLAB	3/4" = 1'-0"	03	GRADE BEAM INTERSECTION	3/4" = 1'-0"	04	FT'G @ ENTRY	3/4" = 1'-0"	05	FT'G @ SIDEWALL	3/4" = 1'-0"
06	TYP INTERIOR GRADE BEAM	3/4" = 1'-0"	07	TYPICAL GRADE BEAM	3/4" = 1'-0"									

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1133 WINSTON STREET  
Houston, TX 77009  
STRUCTURAL DETAILS

Issue/Revision:	01.30.16	ISSUE FOR REVIEW
Dwg Name:	STRUCTURAL DETAILS	
Layer mgr:	XX	Sheet No:
Scale:	AS NOTED	S 1.2
Drawn by:		
Proj. Mgr:		
Date:	2015	



HARRIS COUNTY APPRAISAL DISTRICT  
 REAL PROPERTY ACCOUNT INFORMATION  
 0620810030011

Tax Year: 2014



Owner and Property Information	
Owner Name & Mailing Address:	<b>KUHNEN MICHAEL 1133 WINSTON ST HOUSTON TX 77009-3658</b>
Legal Description:	<b>LT 11 BLK 103 NORTH NORHILL</b>
Property Address:	<b>1133 WINSTON ST HOUSTON TX 77009</b>

Historical Designation
This property is located in a City of Houston Historic District or is a designated Historic Landmark. Please email <a href="mailto:historicpreservation@houstontx.gov">historicpreservation@houstontx.gov</a> or click this link for more information.

State Class Code	Land Use Code	Land Area	Total Living Area	Neighborhood	Map Facet	Key Map®
A1 -- Real, Residential, Single-Family	1001 -- Residential Improved	5,000 SF	1,008 SF	8306.1	5359D	453W

Value Status Information			
Capped Account	Value Status	Notice Date	Shared CAD
Yes	Noticed	03/31/2014	No

Exemptions and Jurisdictions						
Exemption Type	Districts	Jurisdictions	Exemption Value	ARB Status	2013 Rate	2014 Rate
<b>Residential Homestead</b>	001	HOUSTON ISD	57,998	Certified: 08/15/2014	1.186700	1.196700
	040	HARRIS COUNTY	42,998	Certified: 08/15/2014	0.414550	0.417310
	041	HARRIS CO FLOOD CNTRL	42,998	Certified: 08/15/2014	0.028270	0.027360
	042	PORT OF HOUSTON AUTHY	42,998	Certified: 08/15/2014	0.017160	0.015310
	043	HARRIS CO HOSP DIST	42,998	Certified: 08/15/2014	0.170000	0.170000
	044	HARRIS CO EDUC DEPT	42,998	Certified: 08/15/2014	0.006358	0.005999
	048	HOU COMMUNITY COLLEGE	21,499	Certified: 08/15/2014	0.097173	0.106890
	061	CITY OF HOUSTON	42,998	Certified: 08/15/2014	0.638750	0.631080
	949	GRTR NRTHSD MGMT DIST	0	Certified: 08/15/2014		0.000000

Texas law prohibits us from displaying residential photographs, sketches, floor plans, or information indicating the age of a property owner on our website. You can inspect this information or get a copy at **HCAD's information center at 13013 NW Freeway.**

Valuations			
Value as of January 1, 2013		Value as of January 1, 2014	
	Market	Appraised	
Land	150,000		Land
Improvement	51,174		Improvement
Total	201,174	195,446	Total
			Market
			Appraised
			240,000
			39,497
			279,497
			214,990

Land

Market Value Land												
Line	Description	Site Code	Unit Type	Units	Size Factor	Site Factor	Appr O/R Factor	Appr O/R Reason	Total Adj	Unit Price	Adj Unit Price	Value
1	1001 -- Res Improved Table Value	SF1	SF	5,000	1.00	1.00	1.00	--	1.00	48.00	48.00	240,000.00

**Building**

Building	Year Built	Type	Style	Quality	Impr Sq Ft	Building Details
1	1940	Residential Single Family	Residential 1 Family	Average	1,008 *	Displayed

\* All HCAD residential building measurements are done from the exterior, with individual measurements rounded to the closest foot. This measurement includes all closet space, hallways, and interior staircases. Attached garages are not included in the square footage of living area, but valued separately. Living area above *attached* garages is included in the square footage living area of the dwelling. Living area above *detached* garages is not included in the square footage living area of the dwelling but is valued separately. This method is used on all residential properties in Harris County to ensure the uniformity of square footage of living area measurements district-wide. There can be a reasonable variance between the HCAD square footage and your square footage measurement, especially if your square footage measurement was an interior measurement or an exterior measurement to the inch.

**Building Details (1)**

Building Data	
Element	Detail
Cond / Desir / Util	Average
Foundation Type	Crawl Space
Grade Adjustment	C-
Heating / AC	None
Physical Condition	Average
Exterior Wall	Asbestos
Element	Units
Room: Total	4
Room: Full Bath	1
Room: Bedroom	2

Building Areas	
Description	Area
BASE AREA PRI	1,008
OPEN FRAME PORCH PRI	24
ATTIC UNFINISHED	20

**Building Features**

Description	Units
Carport - Residential	1
Frame Detached Garage	1

HARRIS COUNTY APPRAISAL DISTRICT  
 REAL PROPERTY ACCOUNT INFORMATION  
**0620810030011**

Tax Year: 2015



Owner and Property Information	
Owner Name & Mailing Address: <b>KUHNEN MICHAEL 1133 WINSTON ST HOUSTON TX 77009-3658</b>	Legal Description: <b>LT 11 BLK 103 NORTH NORHILL</b>  Property Address: <b>1133 WINSTON ST HOUSTON TX 77009</b>

Historical Designation
This property is located in a City of Houston Historic District or is a designated Historic Landmark. Please email <a href="mailto:historicpreservation@houstontx.gov">historicpreservation@houstontx.gov</a> or click this link for more information.

State Class Code	Land Use Code	Land Area	Total Living Area	Neighborhood	Map Facet	Key Map®
A1 -- Real, Residential, Single-Family	1001 -- Residential Improved	5,000 SF	1,008 SF	8306.1	5359D	453W

Value Status Information			
Capped Account	Value Status	Notice Date	Shared CAD
Yes	Noticed	03/31/2015	No

Exemptions and Jurisdictions						
Exemption Type	Districts	Jurisdictions	Exemption Value	ARB Status	2014 Rate	2015 Rate
<b>Residential Homestead</b>	001	HOUSTON ISD	72,298	Certified: 08/14/2015	1.196700	1.196700
	040	HARRIS COUNTY	47,298	Certified: 08/14/2015	0.417310	0.419230
	041	HARRIS CO FLOOD CNTRL	47,298	Certified: 08/14/2015	0.027360	0.027330
	042	PORT OF HOUSTON AUTHY	47,298	Certified: 08/14/2015	0.015310	0.013420
	043	HARRIS CO HOSP DIST	47,298	Certified: 08/14/2015	0.170000	0.170000
	044	HARRIS CO EDUC DEPT	47,298	Certified: 08/14/2015	0.005999	0.005422
	048	HOU COMMUNITY COLLEGE	23,649	Certified: 08/14/2015	0.106890	0.101942
	061	CITY OF HOUSTON	47,298	Certified: 08/14/2015	0.631080	0.601120
	949	GRTR NRTHSD MGMT DIST	0	Certified: 08/14/2015	0.000000	

Texas law prohibits us from displaying residential photographs, sketches, floor plans, or information indicating the age of a property owner on our website. You can inspect this information or get a copy at **HCAD's information center at 13013 NW Freeway.**

Valuations			Valuations		
Value as of January 1, 2014			Value as of January 1, 2015		
	Market	Appraised		Market	Appraised
Land	240,000		Land	250,000	
Improvement	39,497		Improvement	51,504	
Total	279,497	214,990	Total	301,504	236,489

Land

Market Value Land												
Line	Description	Site Code	Unit Type	Units	Size Factor	Site Factor	Appr O/R Factor	Appr O/R Reason	Total Adj	Unit Price	Adj Unit Price	Value
1	1001 -- Res Improved Table Value	SF1	SF	5,000	1.00	1.00	1.00	--	1.00	50.00	50.00	250,000.00

**Building**

Building	Year Built	Type	Style	Quality	Impr Sq Ft	Building Details
1	1940	Residential Single Family	Residential 1 Family	Average	1,008 *	Displayed

\* All HCAD residential building measurements are done from the exterior, with individual measurements rounded to the closest foot. This measurement includes all closet space, hallways, and interior staircases. Attached garages are not included in the square footage of living area, but valued separately. Living area above *attached* garages is included in the square footage living area of the dwelling. Living area above *detached* garages is not included in the square footage living area of the dwelling but is valued separately. This method is used on all residential properties in Harris County to ensure the uniformity of square footage of living area measurements district-wide. There can be a reasonable variance between the HCAD square footage and your square footage measurement, especially if your square footage measurement was an interior measurement or an exterior measurement to the inch.

**Building Details (1)**

Building Data	
Element	Detail
Cond / Desir / Util	Average
Foundation Type	Crawl Space
Grade Adjustment	C-
Heating / AC	None
Physical Condition	Average
Exterior Wall	Asbestos
Element	Units
Room: Total	4
Room: Full Bath	1
Room: Bedroom	2

Building Areas	
Description	Area
BASE AREA PRI	1,008
OPEN FRAME PORCH PRI	24
ATTIC UNFINISHED	20

**Building Features**

Description	Units
Carport - Residential	1
Frame Detached Garage	1



**Single-Family** ML #: 61044110 Status: **S** LP: **\$339,900**  
 County: **Harris** Tax Acc #: 062-081-003-0011 SP/LP Ratio: **0.94** SP: \$ **319,734**  
 Also For Lease: **No** Area: **9 - Central North** Location: **41 - Houston** LP/SF: \$ **337.20**  
 Addr: **1133 Winston** City: **Houston** KM:  
 Sub: **North Norhill** State: **Texas** Zip: **77009 -**  
 Country: **United States**  
 Listing Firm: **Circa Real Estate** Master Planned Community: **1/13/2016** Close Date: **Sold** Terms: **No/**

Mkt Area: **Heights/Greater Heights** Legal: **LT 11 BLK 103 NORTH NORHILL** Sec #: **0**  
 SqFt: **1008/Appraisal District** Lot Size: **5000/Appraisal District** Year Built: **1940/Appraisal District**  
 SchDist: **27 - Houston** Elem: **FIELD ELEMENTARY SC** Middle: **HOGG MIDDLE SCHOOL** High: **REAGAN HIGH SCHOOL**

**SCHOOL INFO IS COMPUTER GENERATED AND MAY NOT BE ACCURATE OR CURRENT. BUYER MUST INDEPENDENTLY VERIFY AND CONFIRM ENROLLMENT.**

**Description and Room Dimensions**

Style: <b>Traditional</b>	# Stories: <b>1</b>	New Construction: <b>No/</b>	Builder Name:	# Bedrooms: <b>2 /</b>
Type: <b>Free Standing</b>		Approx Complete:	Access:	#FB/HB: <b>1/0</b>
Living: <b>16x14</b>	LotDim:	Acres: <b>/</b>	Utility Rm: <b>8x6</b>	Garage: <b>1/Detached Garage</b>
Den:	Dining: <b>13x12</b>	1st Bed: <b>15x12</b>	4th Bed:	Carport: <b>/</b>
Game Rm:	Kitchn: <b>8x8</b>	2nd Bed: <b>12x11</b>	5th Bed:	FrntDoorFaces: <b>South</b>
Study:	Brkfst:	3rd Bed:	Gar/Car:	
FamilyRm:	ExtraRm:	Media:	Show: <b>Appointment Required</b>	

Dir: **From I10 exit Studemont. Left (N) on Studemont towards Winston. Right (E) on Winston. House is the second one on the left (N) side of the street.**

Physical Property Description - Public: **Comfortable living in the Heart of the Heights! Well maintained 2 bed 1 bath bungalow features all you need & more with recently updated plumbing, electrical, & bathroom! Fabulous hardwoods throughout the home & open concept makes this a perfect home to entertain. The utility room is conveniently located inside the home; a rare find. North Norhill is a wonderfully established neighborhood and close to shopping and dining on 19th Street as well as White Oak. Downtown is just minutes away!**

**Interior, Exterior, Utilities and Additional Information**

Microwave: **Yes** Dishwasher: **No** Cmpctr: **No** Dispsl: **SeplceMkr: No** Oven: **Gas Oven** Range: **Gas Range**  
 Fireplace: **/** UtilRm: **Utility Rm in House**

Connect: **Electric Dryer Connections, Gas Dryer Connections, Washer Connections**

Bedrooms: **All Bedrooms Down**

Energy: Green/Energy Certifications: **Interior**

Rooms:

Master Bath: Extr Constr: **Asbestos** Extr:

Flooring: **Tile, Wood** Countertops: **Formica**

Prvt Pool: **No/** AreaPool:

Roof: **Composition**

Foundation: **Pier & Beam**

St Surf: **Asphalt, Curbs** Utility Dist: **No**

Lot Desc: **Subdivision Lot**

Waterfront Features:

Cool: **Central Electric** Wtr/Swr: **Public Sewer, Public Water**

Golf Course Name: Heat: **Central Gas**

Defects: **No Known Defects**

Restrictions: **Historic Restrictions**

Exclusions: **Outdoor grill**

Disclosures: **Sellers Disclosure**

Management Co /HOA Name: **No / /**

Maint Fee: **No/\$0/**

Other Mandatory Fees: **\$0**

Tax w/o Exempt/Yr: **\$/**

Tax Rate:

Financing Available: **Cash Sale, Conventional**

Sell Broker: **Berkshire Hathaway HomeService Anderson Properties**