

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 1515 COLUMBIA

Historic District / Landmark HOUSTON HEIGHTS EAST HISTORIC DISTRICT

HCAD # 0201330000009

Subdivision HOUSTON HEIGHTS

Lot 9

Block 137

## DESIGNATION TYPE

- Landmark  
 Protected Landmark  
 Archaeological Site  
 Contributing  
 Noncontributing  
 Vacant

## PROPOSED ACTION

- Alteration or Addition  
 Restoration  
 New Construction  
 Relocation  
 Demolition  
 Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name SCOTT LEICHTENBERG

Company LIGHT HILL PARTNERS

Mailing Address 1144 HEIGHTS BLVD

HOUSTON TX 77008

Phone 713.240.2512

Signature

Date 02/01/2016

## APPLICANT (if other than owner)

Name CARRIE GONZALES

Company RICHARD GROTHUES DESIGNS, INC.

Mailing Address 1287 NORTH POST OAK ROAD, STE 100

HOUSTON TX 77055

Phone 832.226.4232

Signature

Date 02/01/2016

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_

Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the Historic Preservation Web Manual for historic district profiles, project guidance and forms. [www.houstontx.gov/HistoricPreservationManual](http://www.houstontx.gov/HistoricPreservationManual)

Historic Preservation Office	832.393.6556	historicpreservation@houstontx.gov
------------------------------	--------------	------------------------------------

## SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to historicpreservation@houstontx.gov (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to historicpreservation@houstontx.gov, or
- contact staff to set up an appointment to drop off a disc or flash drive.

## MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2016 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
January 28	January 6	January 18
February 25	February 3	February 15
March 24	March 2	March 14
April 21	March 30	April 11
May 19	April 27	May 9
June 16	May 25	June 6
July 28	July 6	July 18
August 25	August 3	August 15
September 22	August 31	September 12
October 20	September 28	October 10
November 17	October 26	November 7
December 14 (Wednesday)	November 22	December 4

# CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## DEFINITIONS

**Addition:** any expansion to an existing building, structure or object.

**Alteration:** any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

**Demolition:** an act or process that destroys in whole, or a majority of, any building, structure, object or site.

**Excavation:** to expose, uncover, or remove by digging, cutting or hollowing out.

**Exterior Feature:** an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials and parts of the exterior wall assembly such as walls studs, interior shiplap and the foundation

**Mandatory Repair:** a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

**New Construction:** the erection of a new building, structure, or object, on a lot, site, or other property.

**Relocation:** any change in the location of a building, structure, or object.

**Restoration:** accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

# CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

**PROPERTY ADDRESS:** 1515 Columbia Street

## BUILDING TYPE

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input checked="" type="checkbox"/> garage   |
| <input type="checkbox"/> multi-family residence             | <input type="checkbox"/> carport             |
| <input type="checkbox"/> commercial building                | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building                 | <input type="checkbox"/> other               |
| <input type="checkbox"/> institutional building             |  |

## ALTERATION TYPE

- |  |   |
|--|---|
| <input type="checkbox"/> addition                | <input type="checkbox"/> roof             |
| <input type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

## WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

## PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

## DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> current site plan                 | <input checked="" type="checkbox"/> demolition plan                  |
| <input checked="" type="checkbox"/> proposed site plan                | <input checked="" type="checkbox"/> current roof plan                |
| <input checked="" type="checkbox"/> current floor plans               | <input checked="" type="checkbox"/> proposed roof plan               |
| <input checked="" type="checkbox"/> proposed floor plans              | <input checked="" type="checkbox"/> current elevations (all sides)   |
| <input checked="" type="checkbox"/> current window and door schedule  | <input checked="" type="checkbox"/> proposed elevations (all sides)  |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input checked="" type="checkbox"/> perspective and/or line of sight |

# 1515 Columbia Street Remodel/Addition

## Legal Description:

LT 9 BLK 137 Houston Heights

## Address:

1515 Columbia Street, Houston TX 77009

## Current Conditions:

The house is in good condition. House has been previously altered, but date of alterations are unknown. House is currently being Remodeled.

## Proposed Work:

Add a 3 car garage with alley access and a 2 bedroom apartment above.

## Current Building Materials:

The house none of the existing Doors, Siding, Trim, or windows.

## Proposed New Materials:

- Hardie Trim Boards
- 5/8 Hardie Plank Siding with 4" reveal

Front Elevation





Sides





Rear



# LIGHT HILL PARTNERS GARAGE APARTMENT

## 1515 COLUMBIA STREET

### CONTACT INFORMATION

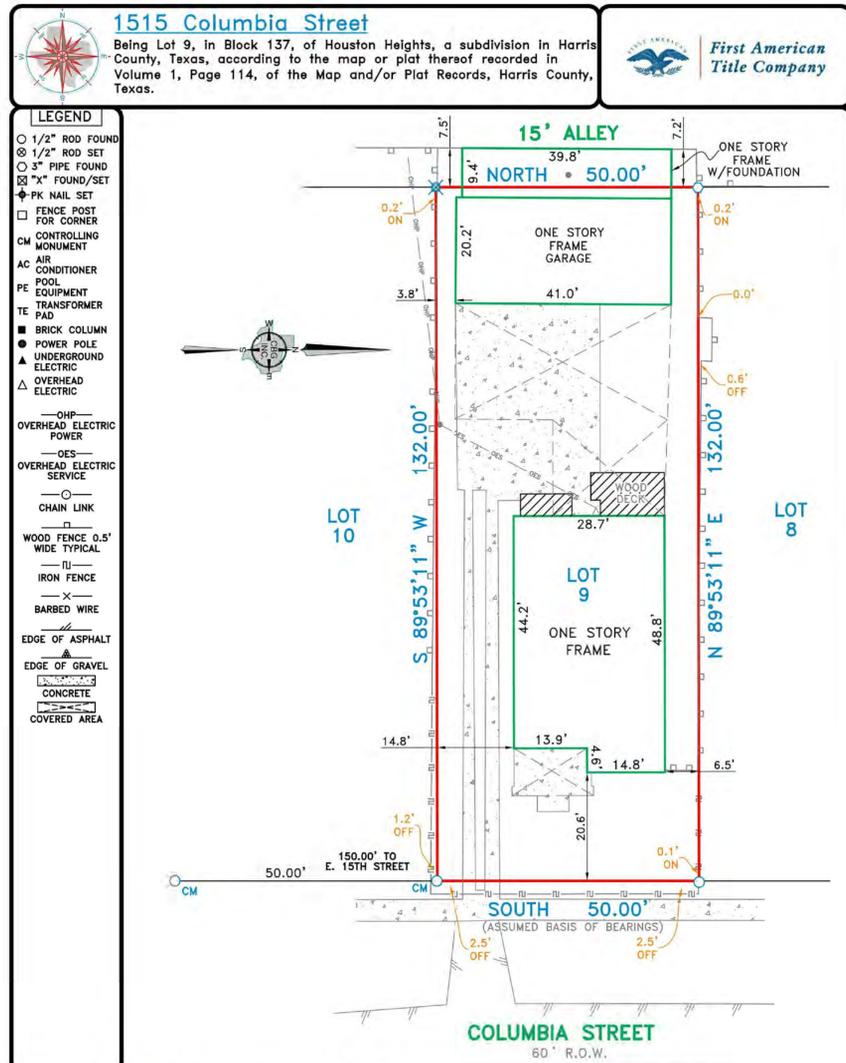
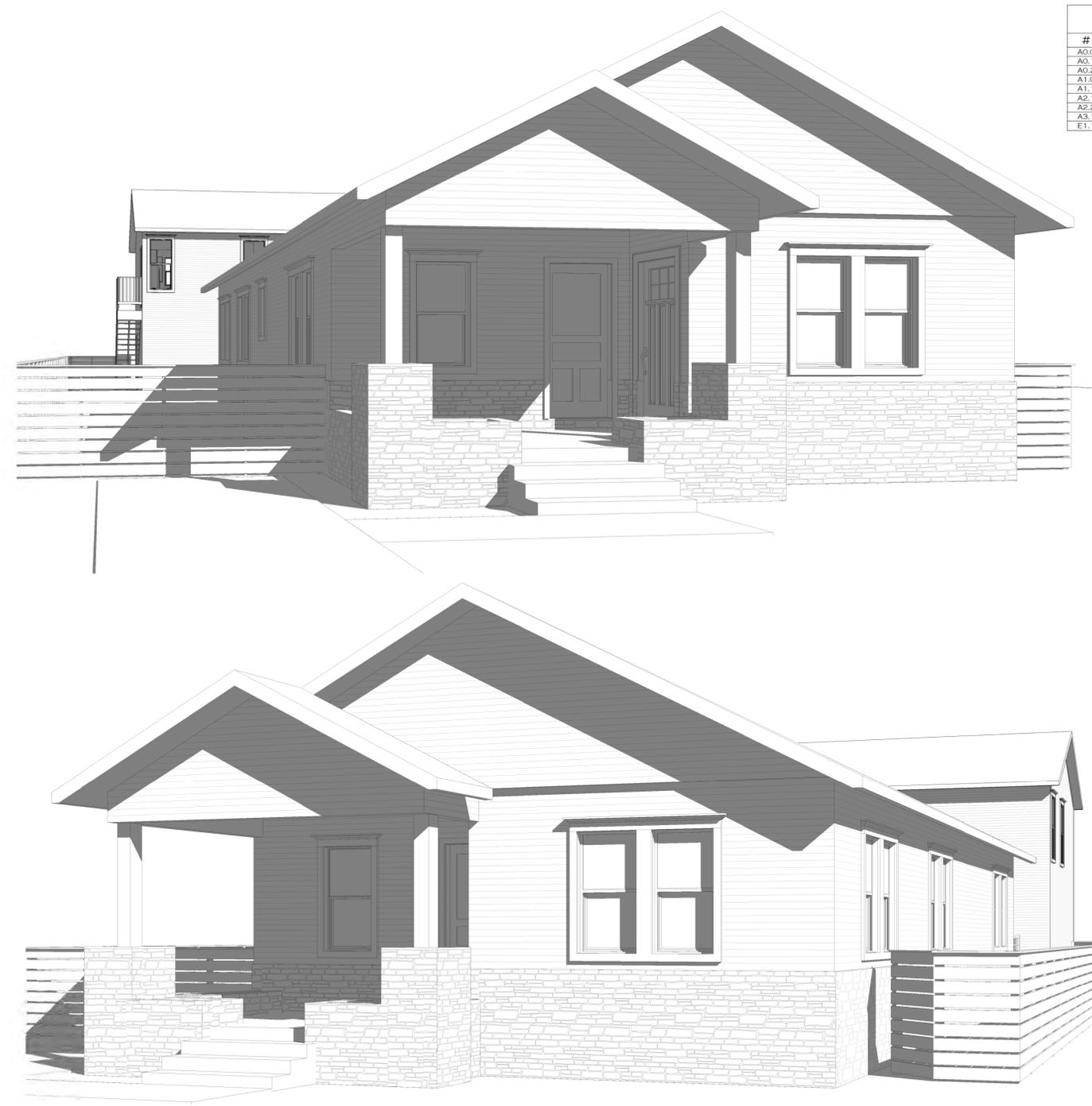
BUILDER:  
  
 DESIGNER: RICHARD GROTHUES DESIGNS  
 8734 DAWNBLUSH LANE  
 HOUSTON, TX 77025  
 713.449.9191  
  
 STRUCTURAL ENGINEER:

### BUILDING CODE

INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, 2012 EDITION  
 UNIFORM MECHANICAL CODE, 2012 EDITION  
 UNIFORM PLUMBING CODE, 2012 EDITION  
 INTERNATIONAL FIRE CODE, 2012 EDITION  
 NATIONAL ELECTRIC CODE, 2014 EDITION  
 INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION

### ABBREVIATIONS

ADJUST	ADJUSTABLE	MAINT	MAINTENANCE
ADJ	ADJACENT	MAX	MAXIMUM
AF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
ALUM	ALUMINUM	PLUMB	PLUMBING
ANCH	ANCHOR	MIN	MINIMUM
AP	ACCESS PANEL	MISC	MISCELLANEOUS
ARCH	ARCHITECT/ARCHITECT	MTD	MOUNTED
URAL	ARCHITECT/ARCHITECT	MULL	MULLION
AT	ARCHITECT TOP	NIC	NOT IN CONTRACT
A/C	AIR CONDITIONING	NO. OR #	NUMBER
A/V	AUDIO VISUAL	NTS	NOT TO SCALE
BD	BOARD	OC	ON CENTER
BLDG	BUILDING	OD	OUTSIDE DIAMETER
BLK	BLOCK	OF CI	CONTRACTOR INSTALLED
BLM	BENCH MARK	OP	OPERATED
BR	BUILT UP ROOFING	O/H	OVERHEAD
CJ	CONTROL JOINT	ORD	OVERFLOW ROOF DRAIN
CLG	CEILING	O.S.	OVERFLOW SCUPPER
COL	COLUMN	PERF	PERFORATED
CONC	CONCRETE	PL	PROPERTY LINE
CONT	CONTINUOUS	PLAM	PLASTIC LAMINATE
CTSK	COUNTERSINK	PLASTER	PLASTER
D	DEEP / DEPTH	PLY	PLYWOOD
DBL	DOUBLE	PSF	POUNDS PER SQUARE FOOT
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
EA	EACH	R/A	RETURN AIR
EJ	EXPANSION JOINT	RD	ROOF DRAIN
EL	ELEVATION	REQD	REQUIRED
EXT	EXTERIOR	RH	RIGHT HAND
FA	FIRE ALARM	RM	ROOM
FD	FLOOR DRAIN	SCHED	SCHEDULED
FIN	FINISH / FINISHED	SC	SOLID CORE
FTG	FOOTING	SF	SQUARE FOOT
FT	FOOT / FEET	SPEC	SPECIFICATION
FV	FIELD VERIFY	SRO	STAIN RESISTANT
GA	GALVANNEED	SS	STAINLESS STEEL
GA	GAUGE	STL	STEEL
GEN	GENERAL	STR	STRUCTURE
GMP	GUARANTEED MAXIMUM PRICE	STRUC	STRUCTURAL DRAWINGS
GYP	GYPSONUM	TEMP	TEMPERED
H	HOLLOW CORE	TEMP	TEMPERED EXISTING
HSCP	HANDICAPPED	TYP	TYPICAL
HWWR	HARDWARE	UL	UNDERWRITERS
HM	HOLLOW METAL	UNO	UNLESS NOTED OTHERWISE
HORIZ	HORIZONTAL		
HVAC	HEATING, VENTILATION, & AIR CONDITIONING		
ID	INTERIOR DIAMETER	WC	WATER CLOSET
INSUL	INSULATED / INSULATION	WOC	WOOD
INT	INTERIOR	WR	WATERPROOFING
INT	INTERIOR	WR	WATER RESISTANT
IN	INCH	WTH	WITH
JAN	JANITOR	XFMR	TRANSFORMER
JST	JOIST		
LAM	LAMINATED / LAMINATE		
LAV	LAVATORY		
LH	LEFT HAND		



**LEGEND**

- 1/2" ROD FOUND
- 3/4" ROD SET
- 2" PIPE FOUND
- "X" FOUND/SET
- PK NAIL SET
- FENCE POST FOR CORNER
- CONTROLLING MONUMENT
- AIR CONDITIONER
- POOL EQUIPMENT
- TRANSFORMER PAD
- BRICK COLUMN
- POWER POLE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- OHP OVERHEAD ELECTRIC POWER
- OES OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- IRON FENCE
- BARBED WIRE
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CONCRETE
- COVERED AREA

**NOTES:**  
 NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.  
 FLOOD NOTE: According to the F.I.R.M. No. 48201C0670 M, this property does lie in Zone X and does not lie within the 100 year flood zone.  
 This survey is made in conjunction with the information provided by First American Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

**EXCEPTIONS:**  
 NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 1, PG. 114, CC FILE NO'S V620908, V719174, W994254

Drawn By: C.C.  
 Scale: 1" = 20'  
 Date: 07/01/15

GF No.: 2048083-11583  
 Job No.: 1509564

**C.B.G. Surveying, Inc.**  
 12025 Shiloh Road, Ste. 230  
 Dallas, TX 75228  
 P 214.349.9485  
 F 214.349.2216  
 Firm No. 10168800  
 www.cbgsurveying.com

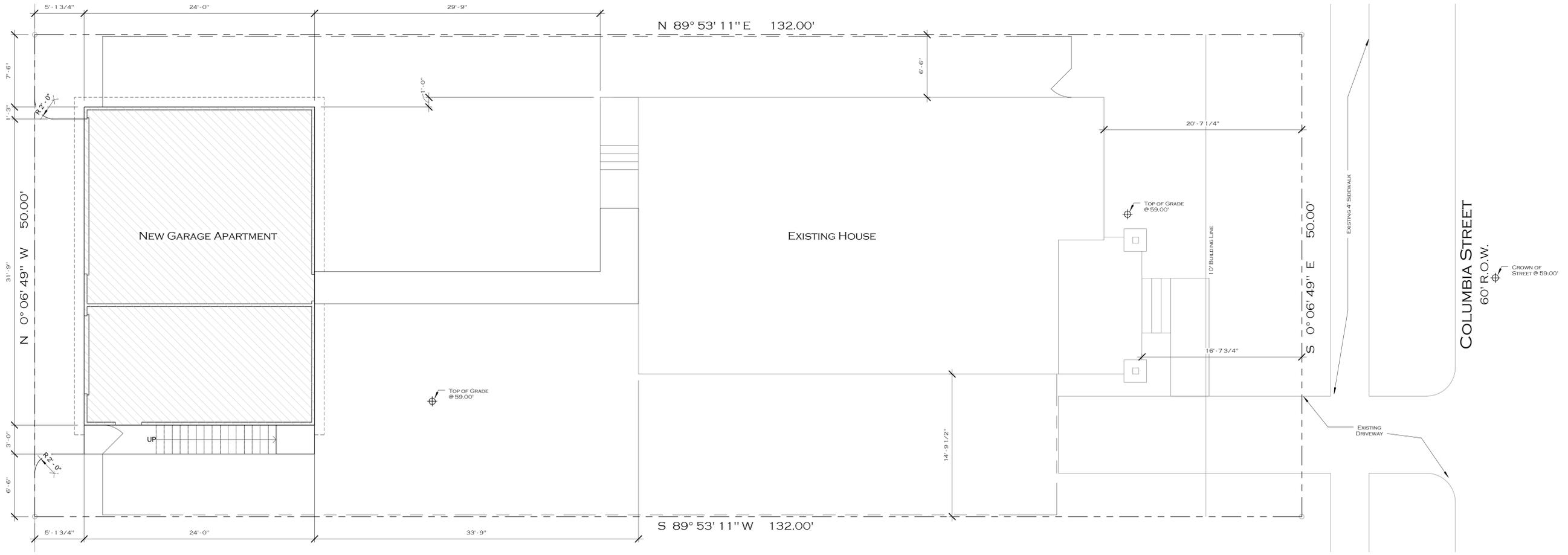
THOMAS MAUK  
 R.P.L.S. NO. 5119

GARAGE APARTMENT - 1515 COLUMBIA STREET

ALL IDEAS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE CREST GROUP. PURCHASERS RIGHT TO CONSTRUCT A SINGLE PROJECT ON THE LOT STATED HEREIN, AND USE IS LIMITED SPECIFICALLY TO SUCH PROPERTY. THE REPRODUCTION OR USE OF THESE PLANS CONCERNING ANY OTHER PROJECT IS STRICTLY PROHIBITED WITHOUT WRITTEN PERMISSION OF THE CREST GROUP. WRITTEN PERMISSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ALL PLANS DESIGNED FOR THE CONSTRUCTION OF THE BUILDING SHOULD BE REVIEWED AND REFERENCED TO BEFORE ANY CONSTRUCTION BEGINS. IN THE EVENT OF ANY CONFLICTS OR INCONSISTENCIES IN THE PLANS, THE CREST GROUP SHALL BE CONTACTED IMMEDIATELY. IF NO SUCH CONTACT IS MADE, THEN THE CONTRACTOR AND SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, ASSUME ALL LIABILITY ASSOCIATED WITH SUCH CONDUCT OR INCONSISTENCIES.

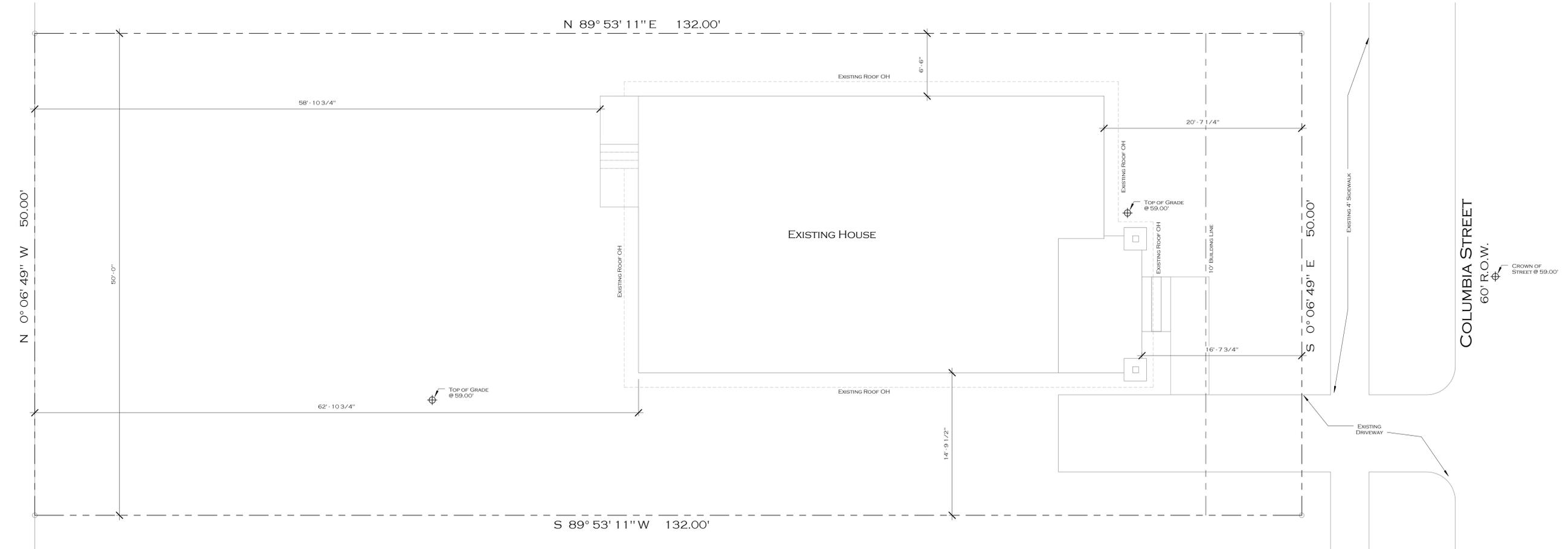
15' ALLEY

1 NEW SITE PLAN  
3/16" = 1'-0"



15' ALLEY

2 EXISTING SITE PLAN  
3/16" = 1'-0"



LIGHT HILL PARTNERS  
**GARAGE APARTMENT**  
 1515 COLUMBIA STREET

carrie@rgrothuesdesigns.com

From: [Redacted]
Sent: Tuesday, February 02, 2016 9:46 AM
To: carrie@rgrothuesdesigns.com
Subject: FW: 1515 columbia - 1 more pic

SINCERELY,
RICK GROTHUES, CPBD, AIBD
RICHARD GROTHUES DESIGNS, INC.
OFFICE: 713.449.9191
FAX: 713.893.6901

From: Smith, Richard - HPC-PWE [mailto:[Redacted]]
Sent: Monday, November 02, 2015 11:39 AM
To: [Redacted]
Subject: RE: 1515 columbia - 1 more pic

Mr. Grothues,

At this time, we interpose no objection to permitting for driveway access from the alley for the above referenced project at 1515 Columbia Street. The alley is currently paved as a gravel section up to the property and will need to be continued. The plans for continuing the existing paving will need to be approved and permitted through the Office of City Engineer. This interposition of no objection does not supersede requirements to comply with all applicable design standards, codes and ordinances. If any improvements or repairs are made to the alley it will require a permit through the Office of the City Engineer.

Richard P. Smith, P.E., PTOE
Managing Engineer - Office of City Engineer Public Works and Engineering | City of Houston
Phone: 832-394-9137 | [Redacted]
HPC - 1002 Washington Ave., Houston Texas 77002

From: [Redacted]
Sent: Monday, November 02, 2015 9:08 AM
To: Smith, Richard - HPC-PWE
Cc: [Redacted]
Subject: 1515 columbia - 1 more pic

Richard,

Here is one last picture.
This is at the last lot before the subject lot.

SINCERELY,
RICK GROTHUES, CPBD, AIBD
RICHARD GROTHUES DESIGNS, INC.

2009 RESIDENTIAL ENERGY CONSERVATION FORM
Department of Public Works & Engineering
Planning & Development Services Division
PROJECT INFORMATION
Address: 1515 Columbia
Project Number: [Redacted]
Building Type: [X] Single Family [ ] Multi-family (3 stories or less) [ ] Townhouse [X] Other: Garag
Scope of Work: [X] New Construction [X] Addition of 792 square feet [ ] Remodel
Project affects: [X] Walls/Ceilings/Floors that separate conditioned and unconditioned space [X] Service Water Heating Eqpt. [X] Heating or Air Cond. Eqpt./Ducts [X] Window/doors that separate conditioned and unconditioned space [ ] None of the items listed -- STOP.
The building is exempt due to: [X] Historical (Attach certificate) - Must comply with code provisions unless the provision will invalidate the historical designation. [ ] Non-conditioned [ ] Low Energy (less than 1wt/sq.ft) [ ] Other:
BUILDING ENVELOPE COMPLIANCE METHOD (CHOOSE ONLY ONE OF THE BELOW METHODS IN THIS SECTION)
A Window to wall method. This requires slightly more calculation but allows up to 30% glazing.
(A1) Calculate. Glazing (sq. ft.) + Wall area (sq. ft.) x 100 = %
(A2) Fenestration. Using the table, check the applicable box to indicate how glazing meets code criteria.
(A3) Insulation. Using the table, indicate what R-values and type of insulation will be used.
B Conditioned Floor Area Method. This method is an easier method, than the above but is limited to 18% glazing.
(B1) Calculate. % glazing of conditioned floor area. Glazing (sq. ft.) + Cond. Floor Area (sq. ft.) x 100 = %
(B2) Insulation and Fenestration. All values shall meet or exceed the minimums provided by this table when showing compliance with this method.
GENERAL PRESCRIPTIVE REQUIREMENTS
Radiant Barrier: [X] No [ ] Yes - Ceiling insulation may be reduced to R-19 from R-30 when using an approved radiant barrier when using method A above.
HVAC: Equipment Type: Conv. SEER: 14
\*\*Duct insulation shall be R-8 in attics and R-6 otherwise. Excpt: Ducts located inside conditioned space.\*\*

GRADING PERMITS FOR EXCAVATIONS AND FILL WORKSHEET
Department of Public Works & Engineering
Planning & Development Services Division
City of Houston
Appendix E of the Houston Adopted 2006 International Building Code, as amended, specifies permit requirements for grading a lot of any size on private property. Section 1 - Identifies when a separate "Grading Permit" is required. Section 2 - Identifies the type of grading permit required. "Engineered Grading or Regular Grading", when a "Geotechnical Report" is required in the plans, and when a "Storm Availability Letter" is required to be attached to the submittal documents.
Grading Permits are required for any excavations or fill, or combination thereof, and includes: Excavation Permits - including work proposing the mechanical removal of earth material. Fill Permits - including a deposit and/or relocation of earth material placed by artificial means.
SECTION 1 Are Permits And Plans Required?
A Grading Excavation permit & plans are required if "Yes" is answered to any question 1 through 4.
(1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
(2) When excavating below finish grade for basements and footings of a building, retaining wall or other structures authorized by a valid building permit, will there be an unsupported excavation height greater than 5 feet after completion of such structure?
(3) Will there be any excavation greater than 5 feet in depth?
(4) Will the excavation create a cut slope 2 feet or more in height but less than 5 feet, with a slope steeper than 1 unit vertical in 1.5 units horizontal? (66.7% slope)
A Grading Fill permit and plans are required if "Yes" is answered to any question 5 through 10.
(5) Does the fill work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
(6) Does the scope of work include fill that is 3 feet or more in depth?
(7) Does the scope of work include fill greater than 1 foot but less than 3 feet, with a slope that is equal to or greater than 1 unit vertical in 5 units horizontal? (20% slope)
(8) Does the scope of work include fill that is greater than 50 cubic yards on any one lot?
(9) Does the proposed fill obstruct any natural and/or previously constructed drainage course?
(10) Is proposed fill greater than 1 ft in depth and intended to support a structure, "now or in the future"?
SECTION 2 What Type Of Permits And Plans Are Required?
NOTE: When the building official has cause to believe that geologic factors may be involved, grading will be required to conform to recommended grading, inspection, and testing by a Professional Engineer.
Engineered grading plans are required if "Yes" is answered to question 11. Plans shall be designed, sealed, signed, and dated by a professional engineer. These grading permits shall be designated as "Engineered Grading".
(11) Does the grading project exceed 5000 cubic yards?
Grading plans shall be designated "Regular Grading" if "Yes" is answered on question 12: (no engineer req.)
(12) Does the grading involve less than 5000 cubic yards?
A Geotechnical Report is required if "Yes" is answered to any one of questions 13, 14 or 15:
(13) Will there be any cut slopes steeper than 1 unit vertical in 2 units horizontal (50% slopes)?
(14) Is there any grading that requires an engineered design? (Reference item 11 above.)
(15) Does the site include any special geological features and/or considerations for any grading?
A Storm Availability Letter is required to be included with the submitted documents if "Yes" is answered to questions 16 or 17:
(16) Does the scope of work to lots exceeding 15,000 sq. ft., include any new impervious cover?
(17) Does the project include connection to the city's public storm sewer system?
ADDRESS: 1515 COLUMBIA STREET DATE: 01 FEB. 2016
PRINT NAME OF APPLICANT: CARRIE GONZALES SIGNATURE: [Redacted]

ANALYSIS OF IMPERVIOUS COVER
Department of Public Works & Engineering
Planning & Development Services Division
This form must be completed for all projects (commercial and residential).
Date: 01 FEB. 2016
Project/Permit No.: [Redacted] Address: 1515 COLUMBIA STREET
APPLICANT INFORMATION
Applicant's Printed Name: CARRIE GONZALES
Applicant's Signature: [Redacted]
Improvement Type Area of Existing Impervious Cover Area of Final Impervious Cover Square Feet or Acres (Circle One)
Building(s) 1,449.98 2,241.98 Sq. Ft. Acres
Parking Lot/Driveway 202 382.54 Sq. Ft. Acres
Sidewalks/Patio 90.92 301.75 Sq. Ft. Acres
Detention Pond/Pool 0 0 Sq. Ft. Acres
TOTAL AREA 1,742.90 2,926.27 Sq. Ft. Acres
SIZE OF LOT Square Feet or Acres (Circle One) TOTAL IMPERVIOUS COVER Square Feet or Acres (Circle One) PERCENTAGE OF IMPERVIOUS COVER
6600 Sq. Ft. / Acres 2,926.27 Sq. Ft. / Acres 44.34 %
Form No: CE-1248 02/28/2012 (832) 394-8810 Public Works & Engineering Page 1 of 1

ALL IDEAS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE CREST GROUP. PURCHASERS RIGHT TO CONSTRUCT A SINGLE PROJECT ON THE LOT STATED HEREIN, AND USE IS LIMITED SPECIFICALLY TO SUCH PROPERTY. THE REPRODUCTION OR USE OF THESE PLANS CONCERNING ANY OTHER PROJECT IS STRICTLY PROHIBITED WITHOUT WRITTEN PERMISSION OF THE CREST GROUP. WRITTEN PERMISSION SHALL HAVE PRECEDENCE OVER ORAL DIMENSIONS. ALL PLANS DESIGNED FOR THE CONSTRUCTION OF THE BUILDING SHOULD BE REVIEWED AND REFERENCED TO BEFORE ANY CONSTRUCTION BEGINS. IN THE EVENT OF ANY CONFLICTS OR INCONSISTENCIES IN THE PLANS, THE CREST GROUP SHALL BE CONTACTED IMMEDIATELY FOR CLARIFICATION.

Richard Grothues Designs, Inc.
AIBD Member
Commercial Land Planning
8754 Darnestown Lane
Baltimore, MD 21286
Phone: 754-449-9791 Fax: 754-893-6907

LIGHT HILL PARTNERS
GARAGE APARTMENT
1515 COLUMBIA STREET

Last Modified: 2/2/2016 10:01:32 AM
Last Plot:
Job Number: 2015.0037
Sheet Name: City Forms
Sheet Number: A0.2

## General Notes

### General Notes:

- Do not scale drawings. Written dimensions take precedence, contractor to verify and be responsible for all dimensions and conditions on the job and notify Richard Grohues Designs of any variations from the dimensions or conditions shown on drawings.
- All written notes on the architectural drawings shall take precedence over the minimum standard notes detailed on this sheet.
- Every sleeping room shall have at least one operable emergency escape and rescue opening. The opening shall have a sill height of not more than 44" a.f.f. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 sq. ft. except gable floor openings shall have a minimum net clear opening of 5 sq. ft. The minimum net clear opening height shall be 24 inches and the net clear opening width shall be 20 inches (IRC 2012, Sect. R310).
- All window head heights taken from immediate interior floor level. Head heights in stairwells taken from first floor level.
- Ceiling heights taken from where the note is located on plan.
- Bathroom and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (2012 IRC Section R307.2).
- All insulation shall have a flame spread rating not to exceed 25 and a smoke density rating not to exceed 450 (2012 IRC Section R316).
- Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilating openings shall be provided with corrosion-resistant wire mesh with 1/8" minimum to 1/4" maximum spacing (2012 IRC Section R806.1).
- When garage door openers are installed, provide low voltage for shutoff and reverse sensors at both sides of overhead door.
- All walls with horizontal DWV shall be 2x6.

### Attic Access Notes:

- Attics containing appliances requiring access shall be provided with an opening and unobstructed passageway large enough to allow removal of the largest appliance, but not less than 30" high and 22" wide and not more than 20 feet long when measured along the centerline of the passageway from the opening to the appliance (2012 IRC Section M1305.1.3).
- Attics containing appliances shall be provided with a pull down stairway with a clear opening of not less than 22 inches in width and a load capacity of not less than 350 pounds.

### Electrical Notes:

- Smoke alarms shall be installed in the following locations:
  - In each sleeping room,
  - Outside each separate sleeping area in the immediate vicinity of the bedrooms,
  - On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. (2012 IRC Section R314.3)
- Smoke alarms shall receive their primary power from the building wiring when such wiring is derived from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection. Smoke alarms shall be interconnected (2012 IRC Section R314.4)
- GFCI receptacles to be located and installed per Sections E3801 and E3802 of the 2012 IRC.
- Provide 110v receptacle and switched light in attic near HVAC equipment (2012 IRC Section M1305.1.3.1). Locate switch near (if not outside) attic access.
- Fire rated wall penetrations by electrical outlets - surface area of individual metallic outlet or switch boxes shall not exceed 16 sq. in. The aggregate surface area of boxes shall not exceed 100 sq. in. per 100 sq. ft. Boxes located on opposite sides on walls or partitions shall be separated by a horizontal distance of 24". Metallic outlet or switch boxes shall be securely fastened to the studs, and the opening in the wallboard facing shall be cut so that the clearance between the box and the wallboard does not exceed 1/8 in. (taken from UL directory, page 13) (IRC 2012, Sect. R321.3).
- Provide a Cat 5e cable to every bedroom and study.
- Provide outside main of minimum 200 amp service with minimum #12 AWG copper wire and two ground rods.

### Ventilation Notes:

- Provide ventilation at all baths and utility rooms through natural or mechanical means. Minimum operable window opening is 1 1/2 sq. ft., and ventilation rate for a (intermittent) mechanical vent shall be 50 cfm. (IRC 2012, Section R303.3).

### Roof Notes:

- Plate heights as noted on sheet.
- Slopes as noted on sheet.
- 1'-6" overhangs from face of studs U.N.O.
- 8" overhangs from face of studs on gable end U.N.O.
- 12" overhangs from face of studs on dormers U.N.O.
- Soffit and ridge venting per builder specifications.
- Roofing material to be Owens Corning Duration or equivalent. Color to be determined.
- Roofing material shall withstand 110 mph winds and shall have a fire resistance rating of A or B per UL790.
- Minimum 6 nails per shingle. Nail pattern per manufacturer's specifications.
- Minimize plumbing penetrations through roof decking. Plumbing vents and all other penetrations through roof decking shall be directed to back roof slope where possible.
- Color coordinate piping to roof material.

### Glazing Notes:

- Glazing in wall assemblies required to be one hour rated walls shall be in accordance with 2012 IRC Section R317. Builder to determine final material and provide appropriate test criteria to local authorities.
- Glazing identification and protection in hazardous locations shall comply with Section R308 of the 2012 IRC.
- Glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers shall comply with section R308 of the 2012 IRC.
- Provide safety glazing in these hazardous locations (IRC 2012 Section R308.4):
  - Glazing in tubs and showers where the bottom edge of a pane is less than 60" from any walking surface.
  - Glazing in side hinged doors except jalousies.
  - Glazing within 24" from a door and bottom of pane is less than 60" from the floor.
  - Exposed area of an individual pane greater than 9 sq. ft.
  - Bottom edge of a pane is less than 18" from floor.
  - Top edge of a pane is greater than 36" from floor (when bottom of this same pane is lower than 36" from the floor).
  - One or more walking surfaces within 36" horizontally of the glazing.
  - Glazing in stairwells where the bottom edge of a pane is less than 60" vertically from any nosing, and 60" horizontally from any stair nosing, where the edge of a pane is less than 60" above the floor.

- Glazing in tubs and showers where the bottom edge of a pane is less than 60" from the floor.
- Exposed area of an individual pane greater than 9 sq. ft.
- Bottom edge of a pane is less than 18" from floor.
- Top edge of a pane is greater than 36" from floor (when bottom of this same pane is lower than 36" from the floor).
- One or more walking surfaces within 36" horizontally of the glazing.
- Glazing in stairwells where the bottom edge of a pane is less than 60" vertically from any nosing, and 60" horizontally from any stair nosing, where the edge of a pane is less than 60" above the floor.

- Glazing in tubs and showers where the bottom edge of a pane is less than 60" from the floor.
- Exposed area of an individual pane greater than 9 sq. ft.
- Bottom edge of a pane is less than 18" from floor.
- Top edge of a pane is greater than 36" from floor (when bottom of this same pane is lower than 36" from the floor).
- One or more walking surfaces within 36" horizontally of the glazing.
- Glazing in stairwells where the bottom edge of a pane is less than 60" vertically from any nosing, and 60" horizontally from any stair nosing, where the edge of a pane is less than 60" above the floor.

### Masonry Notes:

- All concrete masonry units shall conform to IBC 2012, Section 2103.
- Mortar for concrete masonry shall conform to IBC 2012, Sections 2103.7 and 2105.4, and IRC 2012, Section R607.
- Grout for concrete masonry shall be in accordance with IBC 2012, Sections 2103.10 and 2105.5, and IRC 2012, Section R609.
- Provide bond breaker at masonry bearing of all cast-in-place concrete slabs with building paper or as otherwise detailed.
- Veneer ties, if strand wire, shall not be less in thickness than No. 9 U.S. gage wire and shall have a hook embedded in the mortar joint, or if sheet metal, shall be not less than No. 22 U.S. gage by 7/8 inch corrugated. Each tie shall be spaced not more than 24 inches on center horizontally and vertically and shall support not more than 2.67 square feet of wall area (2012 IRC Section R703.7.4.1).
- Weepholes shall be provided in the outside wythe of masonry walls at a maximum spacing of 33 inches on center. Weepholes shall not be less than 3/16" in diameter. Weepholes shall be located immediately above the flashing (2012 IRC Section R703.7.6).
- A minimum 0.019-inch, corrosion-resistant weep screed or plastic weep screed, with a minimum vertical attachment flange of 3 1/2 inches shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 926. The weep screed shall be placed a minimum of 4 inches above the earth or 2 inches above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistant barrier shall lap the attachment flange, the exterior lath shall cover and terminate on the attachment flange of the weep screed (2012 IRC Section R703.7.6.2.1).
- Water-resistant barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall include a water-resistant vapor-permeable barrier with a performance at least equivalent to two layers of Grade D paper (2012 IRC Section R703.6.3).
- The veneer shall be separated from the sheathing by an air space of a minimum of a nominal 1 inch but not more than 4 1/2 inches (2012 IRC Section R703.7.4.2).
- In areas subject to damage from termites as indicated by Table R301.2(1), methods of protection shall be in accordance with this section (2012 IRC Section R320.1).
- R404.1.6 Height above finished grade. Concrete and masonry foundation walls shall extend above the finished grade adjacent to the foundation at all points a minimum of 4 inches (102 mm) where masonry veneer is used and a minimum of 6 inches elsewhere.

### Plumbing Notes:

- Floor drains shall have waste outlets not less than 2" in diameter and shall be provided with a removable strainer. The floor drain shall be constructed so that the drain is capable of being cleaned. Access shall be provided to the drain inlet (IRC 2012, Section P2718).
- Toilet, bath and showers shall be spaced as per figure R307.1 in the 2012 IRC.
- Provide plumbing access panel at all bathtubs (IRC 2012, P2704).
- Locate water heater(s) in attic, above load bearing partition, in a pan with relief line to outside (IRC 2012, Sections M2005, M1305.1.3, and G2406).
- All gas appliances to comply with Chapter 24 of the 2012 IRC.
- Before foundation inspection can be made, one plumbing ground must extend a minimum of 10' above finished slab height and contain a 10' column of water.

### Water Heater Notes:

- Installation of water heater to comply with Sections P2801.2 and M2005 of the 2012 IRC.
- Provide adequate attic ventilation for gas water heater (2012 IRC Section G2407).
- Size of metal pan is determined by Section P2801.5.1 of the 2012 IRC.
- Provide decking below metal pan in accordance to Section R1307.1 of the 2012 IRC.
- Provide drain lines from pan and water heater to exterior (not to the sanitary sewer line) (2012 IRC Section P2801.5.2).
- Locate water heater on at least one (2012 IRC Sections P2801.3 & M2005):
  - partition
  - 2x6 joists at 16" o.c. (8' max. span)
  - 2x8 joists at 16" o.c. (10' max. span)
- Gas water heaters in garages shall be raised on a 18" high platform, and conform to 2012 IRC Sections P2801.6 and M1307.3.1.

### Fireplace Notes:

- All brick or pre-fabricated fireplaces to be built and installed per Chapter 10 of the IRC 2012. A copy of the manufacturer's installation manual shall be available on site for inspector's review.
- Chimneys to be 2'-0" (min.) above any roof line within a 10'-0" radius, or 3'-0" from any rooftop (ridge) (2012 IRC Table R1003.1, Letter "r").
- Venting of both fireplace types shall comply to Chapter 18 of the 2012 IRC. Optional spark arresters can be installed at chimney; mesh to have max. 1/2" gap.

### Stair & Guard Notes:

- Stairways, handrails and guardrails shall comply with Sections R311 and R312 of the 2012 IRC.
- Handrails to be 34" to 38" above nose of tread (2012 IRC Section R315.1).
- Guardrails at 36" to 42" above finished floor (2012 IRC Section R316.1); space between balusters at 4" max (2012 IRC Section R316.2).
- Hand gripping portion of handrails shall be not less than 1 1/4", nor more than 2 5/8" in cross section or the shape shall provide an equivalent grasping surface (2012 IRC Section R315.2).
- (One) handrail shall be continuous the full length of the stairs and shall extend not less than 6" beyond top and bottom risers, and shall terminate into a newel post or safety terminal (2012 IRC Section R315.1). Handrails adjacent to a wall shall have a space of not less than 1 1/2" between wall and rail. Handrails shall not project more than 4 1/2" on either side of the stairway (2012 IRC Section R314.1).
- If the underside of stairwell is closed off, provide 5/8" type 'x' fire rated gypsum board to the underside of stairs.
- Newel post (that railing terminates into) shall be located no higher than the first tread.
- Minimum clear width between (and below) handrails shall be 27" (double), and 31 1/2" (single rail) (2012 IRC Section R314.1).
- Maximum riser height shall be 7 3/4", minimum tread depth shall be 10" (2012 IRC Section R314.2).
- Minimum headroom in all parts of the stair shall not be less than 6'-8" (finished height), measured vertically from sloped plane adjoining the tread nosing or from the floor surface of the landing or platform (2012 IRC Section R314.3).

### Engineer of Record Notes:

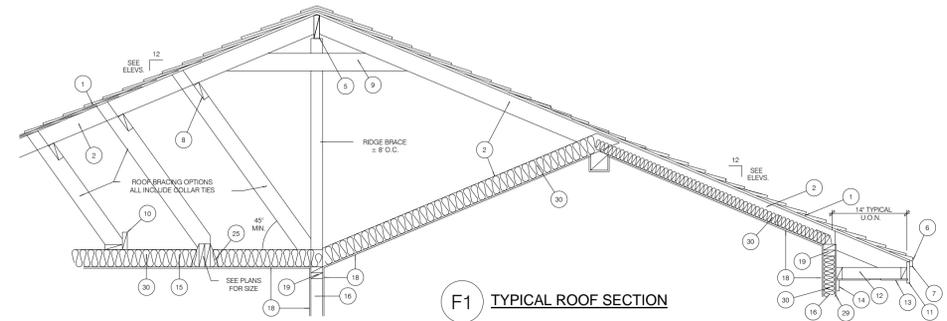
- When the local authority requires a registered engineer to provide a sealed and signed document for purposes of permitting, the engineer of record's details and schedules shall take precedence over the information shown on this sheet.

### Bubble Notes on Details:

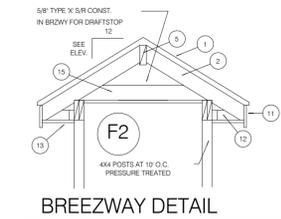
- Composition shingles (min 240#, max 360#) on 15# felt over:
  - 5/8" CDX plywood decking (typical), or
  - 5/8" 1 hour fire rated CDX plywood within 5' of prop. line
- Rafters (2x6 typ.) with lap splice as required by span. See elevations for slope. Maximum unsupported span for 2x6 rafters shall be 10'-7".
- 2x4 barge rafter w/1x6 fascia or 2x6 barge w/1x8 fascia.
- 2x6 blocking at 24" o.c.
- Ridge, hip, or valley beams to be 1 size larger than rafters
- Galvanized flashing (drip edge)
- 1x2 trim
- 2x6 continuous purlins with 2x6 braces @ 48" o.c. (tee 2x4 braces @ 48" o.c. when length exceeds 8'-0"). 2x4 runner w/2x6 strongback installed at midspan between partitions when partitions exceed 8'-0".
- 2x6 collar ties at 48" o.c.
- Metal flashing at top, down sides, & under shingles.
- 1x8 or 1x6 fascia (see plans)
- 2x4 outlocker and nailer
- 3/8" plywood soffit w/ vents @ 6'-0" o.c. max
- 1x4 trim
- Ceiling joists - all joists shall have a minimum bearing of 1 1/2" and have lateral support at ends and at each support.
- 2x4 stud wall at 16" o.c. (typ.) walls higher than 10' and walls supporting 2 floors shall have 2x6, 2 - 2x4, or 4x4 studs at 16" o.c.
- Exterior finish material as shown in 2012 IRC Sections P2801.3 & M2005:
  - hardi-plank or equal siding, or
  - stucco or plaster
- 1/2" gypsum wallboard
- 2-2x4 top plate
- Subflooring - see builder or owner for selection:
  - 2x6 tongue & groove installed diagonally
  - 1-1/8" APA sturdi-floor plywood or equal
  - 3/4" APA sturdi-floor plywood
- 5/8" type 'x' gypsum wallboard
- Floor joists - all joists shall have a minimum bearing of 1 1/2" and have lateral support at ends and at each support or use Simpson 'U' joint metal hangers.
- One full-length layer of 1/2" type 'x' gypsum wallboard laminated to each side of 1" full-length v-edge gypsum coreboard with approved laminating compound. Vertical joints of face layer and coreboard staggered at least 3" (2012 IRC Table 719.1(2), Item 9-1.1).
- Two layers of 5/8" type 'x' one hour fire rated gypsum wallboard.
- Joist hanger
- Concrete masonry units as shown in IBC 2012, table 719.1(2), items 3-1.1 through 3-1.4; two hour rating.
- #15 asphalt felt or equal waterproofing
- 5/8" type 'x' gypsum wallboard applied over item #29 and under items #17/#32.
- Exterior sheathing\* - see builder or owner for selection:
  - 1/2" exterior CDX plywood covered with Tyvek.
  - 2x8" wp gypsum.
  - see IBC 2012, Table 2304.6.1 for other approved materials.
- \*Rigid insulation can be placed over any exterior sheathing.
- Insulation:
  - Batt or Icnylene @ 3.6 R per inch of insulation.
  - Allow 2" air space above insulation over sloped ceilings and provide cardboard baffles over plates.
- n/a
- Face brick veneer - weep holes at 36" o.c. at first course
- n/a
- Brick ties at 16" o.c. both ways
- 1" Air space
- Weepholes with weep screeds
- 2x4 treated sole plate with 30# felt below and 12" wp wall
- Anchor bolts per structural engineer's specifications
- Continuous band - size equal to barge rafter.
- All framing lumber shall be Southern Yellow Pine #2 or better, unless otherwise noted on plan. Studs and plates may be construction grade material. 2x6 material shall be Southern Yellow Pine #1 or better.
- Plywood sheathing shall be manufactured with exterior glue in accordance with requirements of the 2012 IRC, and American Plywood Association Standard PS1-83. The grade, thickness, and panel identification index shall be as shown on the plans.
- All glue laminated beams shall be stress graded per structural engineer's specifications
- All framing clips and devices shall be Simpson "Strong Tie" or equivalent.
- Minimum nailing for connections not indicated on the plans shall be in accordance with 2012 IBC Table 2304.9.1
- Truss joists shall be manufactured and installed in accordance with the requirements of the manufacturer.
- All nails shall be common, unless otherwise noted.
- Posts used for beam or girder supports shall have full bearing to the foundation, unless otherwise noted.
- Timber sizes prescribed are minimum. Larger sizes may be substituted. Detailed connections may require modification if substitutions are made.
- Provide 2-2x6 strongback on all spans over 8'-0" located at midpoint of span.
- Provide double joists under all parallel partitions
- Provide diagonal corner bracing per 2012 IBC Table 2306.3.3 or 1/2" CDX plywood per 2012 IBC Table 2308.9.3(3).
- Recommend expanding foam sealer (Polyseal or equal) to seal all possible infiltration.
- 1x3 or solid 2x12 cross bridging on spans over 10'-0"
- Provide fire breaks in walls greater than 10'-0" in height, and on both side of all floor penetrations. Install fire breaks at each end of breezeways when the breezeway is connected to 2 separate structures.

## Roof & Wall Details

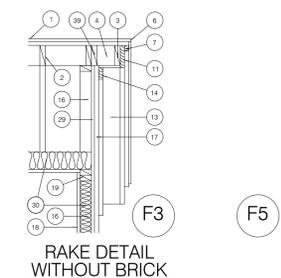
Not To Scale



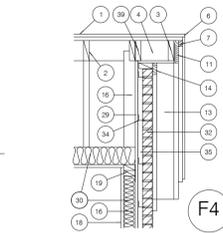
F1 TYPICAL ROOF SECTION



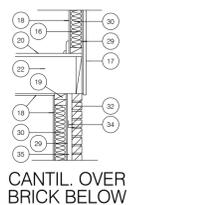
BREEZEWAY DETAIL



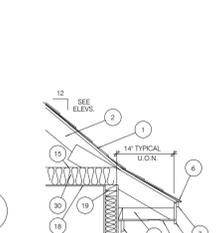
RAKE DETAIL WITHOUT BRICK



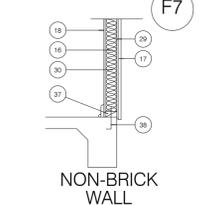
RAKE DETAIL WITH BRICK



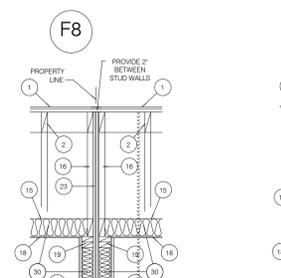
CANTIL OVER BRICK BELOW



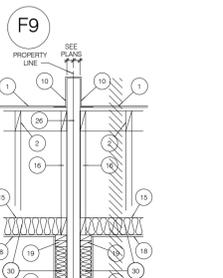
NON-BRICK WALL SECTION



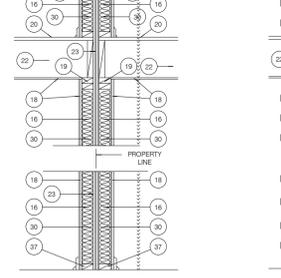
BRICK WALL SECTION



2x4 STUD PARTY WALL



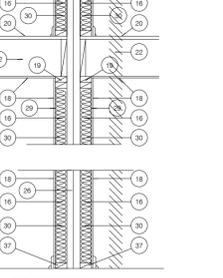
CONCRETE BLOCK PARTY WALL



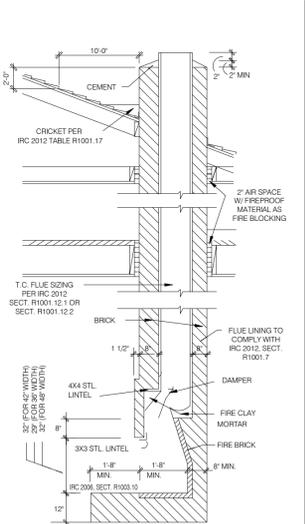
RAKE DETAIL WITH BRICK WITHIN 3' OF PL.



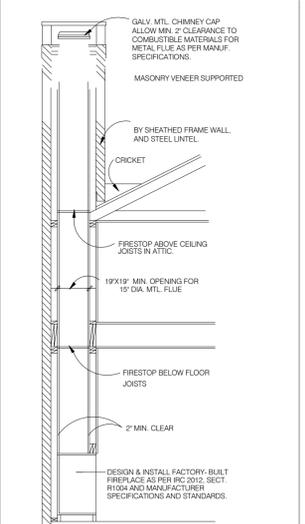
RAKE DETAIL WITHOUT BRICK WITHIN 3' OF PL.



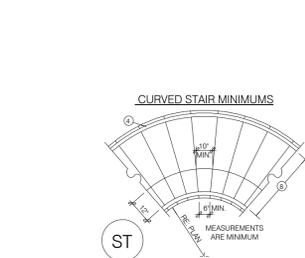
1 HR. EXT. WALL



M1 MASONRY

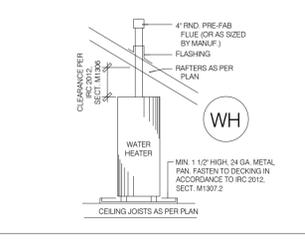


M2 FACTORY-BUILT



ST CURVED STAIR MINIMUMS

- STAIRWAYS SHALL COMPLY WITH 2012 IRC SECTIONS R312, R314, R315, AND R316
- HANDRAILS TO BE 34" TO 38" ABOVE NOSE OF TREAD (2012 IRC SECTION R316.1). SPACE BETWEEN BALUSTERS AT 4" MAX (2012 IRC SECTION R316.2).
- GUARDRAILS AT 36" TO 42" ABOVE FINISHED FLOOR (2012 IRC SECTION R316.1). SPACE BETWEEN BALUSTERS AT 4" MAX (2012 IRC SECTION R316.2).
- HAND GRIPPING PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4" AND NOT MORE THAN 2 5/8" IN CROSS SECTION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRASPING SURFACE (2012 IRC SECTION 315.2).
- (ONE) HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND SHALL EXTEND NOT LESS THAN 6" BEYOND TOP AND BOTTOM RISERS, AND SHALL TERMINATE INTO A NEWEL POST OR GUARDRY TERMINAL (2012 IRC SECTION R314.1). HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN WALL AND RAIL. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY (2012 IRC SECTION R314.1).
- IF THE UNDERSIDE OF STAIRWELL IS CLOSED OFF, PROVIDE 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD TO UNDERSIDE OF STAIRS.
- NEWEL POST (THAT RAILING TERMINATES INTO) SHALL BE LOCATED NO HIGHER THAN THE FIRST TREAD.
- MAXIMUM CLEAR WIDTH BETWEEN (AND BELOW) HANDRAILS SHALL BE 27" (DOUBLE) AND 31 1/2" (SINGLE RAIL) (2012 IRC SECTION R314.1).
- MAXIMUM RISER HEIGHT SHALL BE 7 3/4". MINIMUM TREAD DEPTH SHALL BE 10" (2012 IRC SECT. R314.2).
- MINIMUM HEADROOM IN ALL PARTS OF THE STAIR SHALL NOT BE LESS THAN 6'-8" (FINISHED HEIGHT) AS MEASURED VERTICALLY FROM SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM (2012 IRC SECTION R314.3).



WH WATER HEATER DETAILS

**Richard Grohues Designs, Inc.**  
 Residential Commercial Land Planning  
 8754 Davenport Lane  
 Dallas, TX 75248-9791 Fax: 972.987.6007  
 Phone: 754.697.9791

LIGHT HILL PARTNERS  
**GARAGE APARTMENT**  
 1515 COLUMBIA STREET

Last Modified:  
 2/2/2016 10:01:32 AM  
 Last File:  
 2015.0037  
 Sheet Name:  
 General Notes  
 Sheet Number:

A1.0

ALL IDEAS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

**GARAGE APARTMENT WINDOW SCHEDULE (ALL NEW WINDOWS TO BE RECESSED TO MAINTAIN THE LOOK OF ORIGINAL WOOD WINDOWS)**

MARK	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	OPERATION	COMMENTS	WINDOW MATERIAL	TRIM MATERIAL
A1	2'-8"	6'-0"	2'-0"	8'-0"	SINGLE HUNG	TEMPERED	VINYL	WOOD
A2	2'-8"	6'-0"	2'-0"	8'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
A3	2'-8"	6'-0"	2'-0"	8'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
A4	2'-8"	6'-0"	2'-0"	8'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
A5	2'-8"	6'-0"	2'-0"	8'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
A6	2'-8"	6'-0"	2'-0"	8'-0"	SINGLE HUNG	EGRESS	VINYL	WOOD
A7	2'-0"	4'-0"	4'-0"	8'-0"	SINGLE HUNG		VINYL	WOOD

**GARAGE APARTMENT DOOR SCHEDULE 1**

MARK	WIDTH	HEIGHT	HAND	HARDWARE	COMMENTS
A101	8'-0"	8'-0"			OVERHEAD GARAGE DOOR
A102	16'-0"	8'-0"			OVERHEAD GARAGE DOOR
A103	2'-8"	7'-0"	LEFT	DEADBOLT & LOCKSET	THRESHOLD/WEATHERSTRIPPING
A104	2'-8"	7'-0"	LEFT	DEADBOLT & LOCKSET	THRESHOLD/WEATHERSTRIPPING

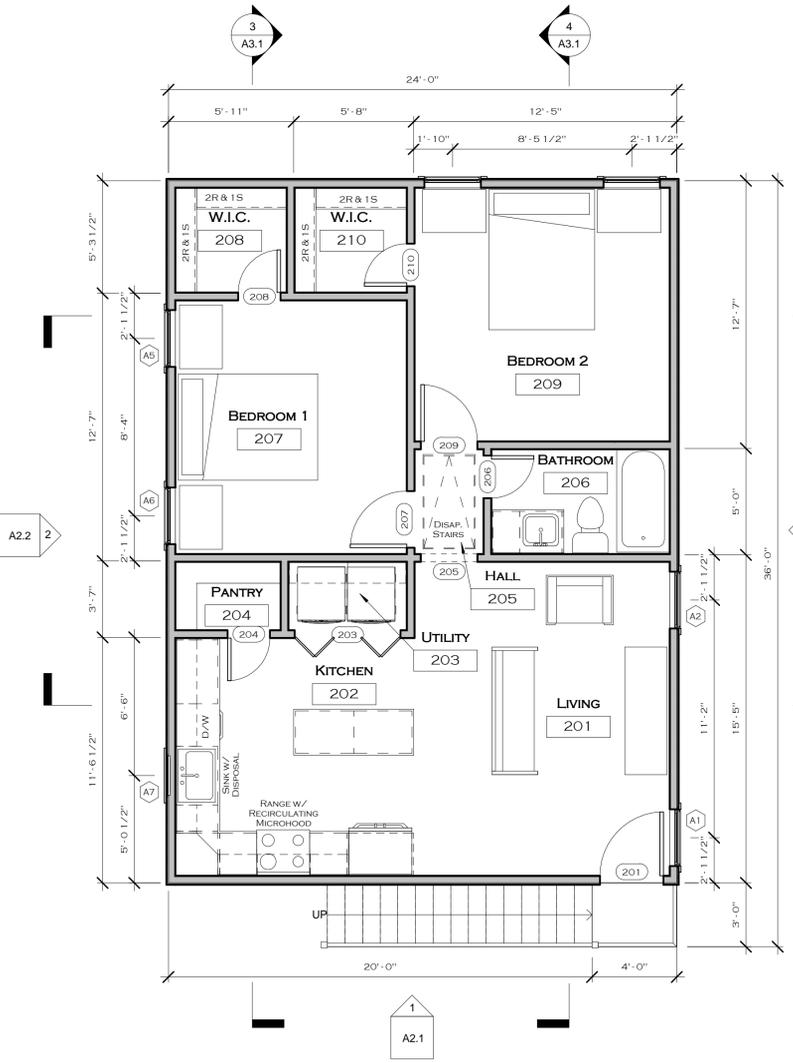
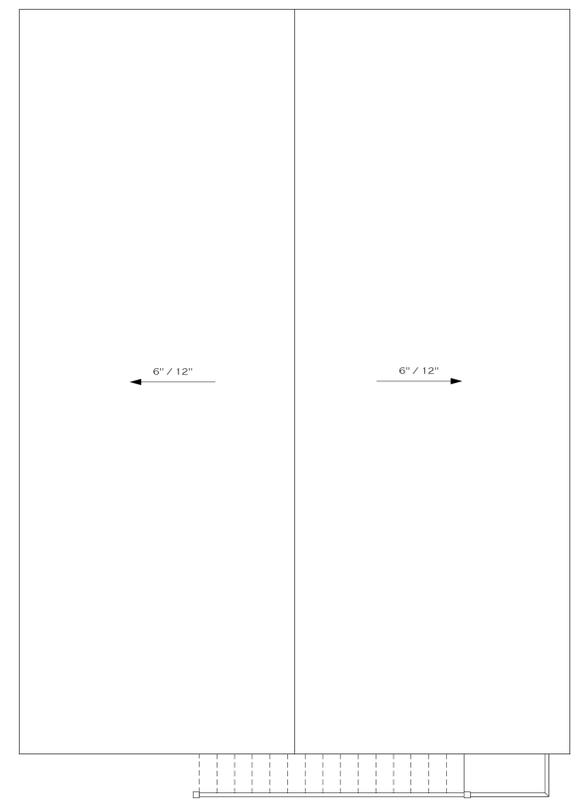
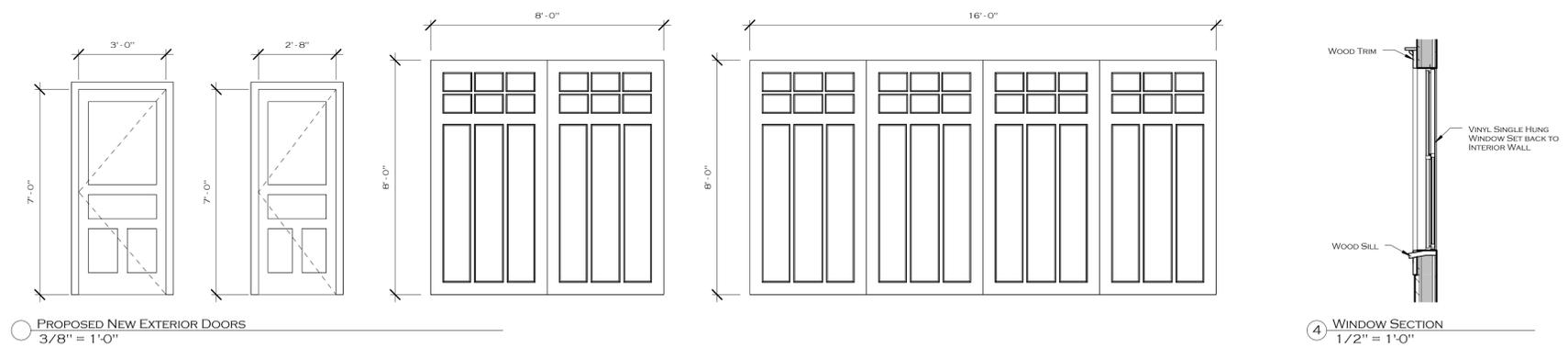
  

**GARAGE APARTMENT DOOR SCHEDULE 2**

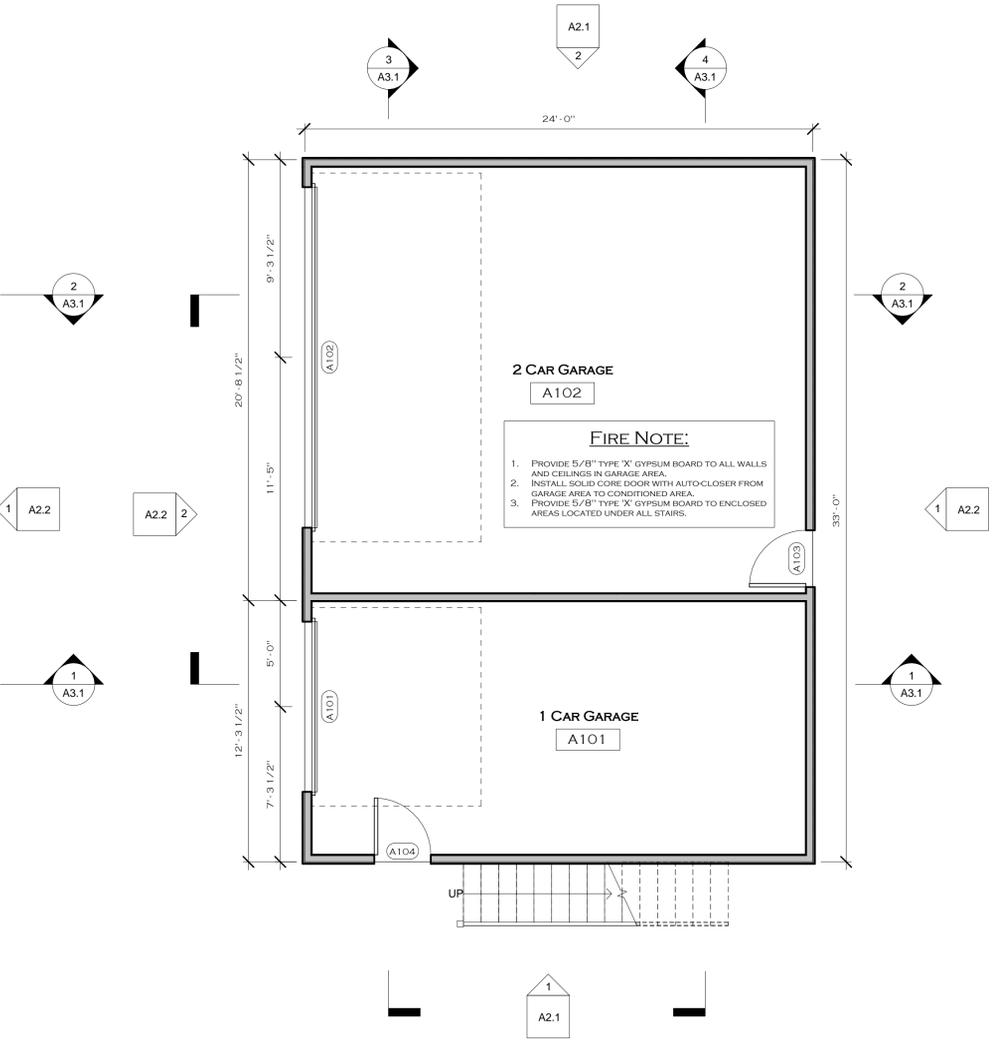
MARK	WIDTH	HEIGHT	HAND	HARDWARE	COMMENTS
201	3'-0"	7'-0"	RIGHT	DEADBOLT & LOCKSET	THRESHOLD/WEATHERSTRIPPING
203	5'-0"	6'-8"	BYFOLD	PASSAGE	
204	2'-0"	7'-0"	RIGHT	PASSAGE	
205	2'-8"	7'-0"			CASED OPENING
206	2'-0"	7'-0"	LEFT	PRIVACY	
207	2'-8"	7'-0"	LEFT	PRIVACY	
208	2'-0"	7'-0"	LEFT	PASSAGE	
209	2'-8"	7'-0"	LEFT	PRIVACY	
210	2'-0"	7'-0"	RIGHT	PASSAGE	

**AREA SCHEDULE**

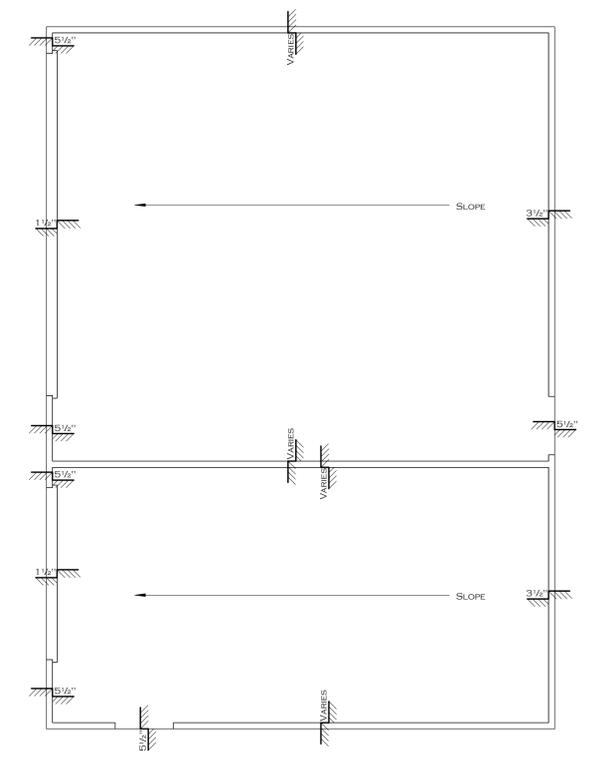
NAME	AREA
EXISTING HOUSE	1329 SF
GARAGE APARTMENT	792 SF
FLOOR AREA	2121 SF
EXISTING PORCH	106 SF
GARAGE	792 SF
EXTERIOR AREA	898 SF
GRAND TOTAL	3019 SF



3 GARAGE APARTMENT-2ND FLOOR  
1/4" = 1'-0"

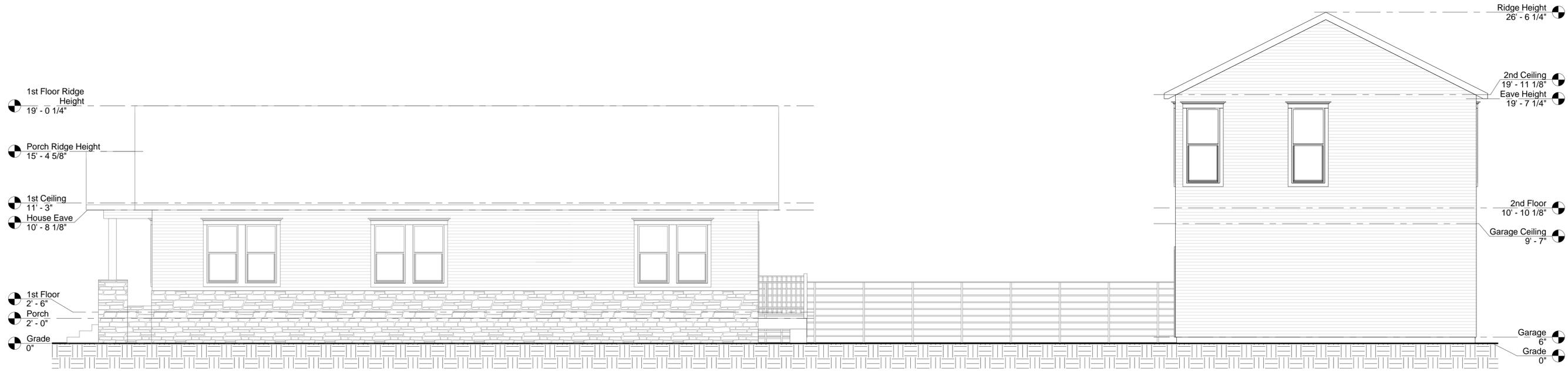


2 FIRST FLOOR PLAN  
1/4" = 1'-0"

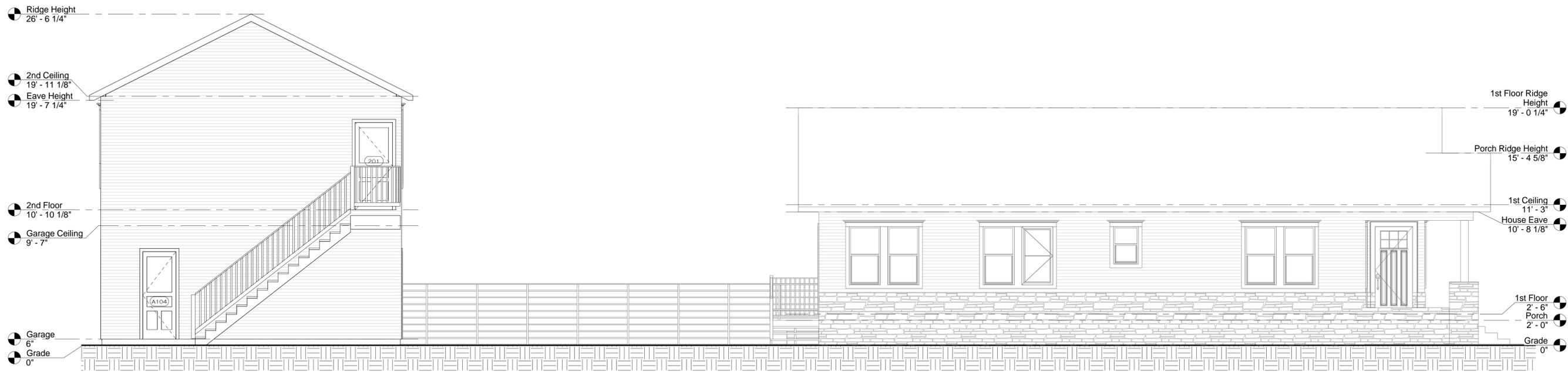


1 GARAGE APARTMENT-FOUNDATION  
1/4" = 1'-0"

ALL IDEAS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGN GROUP. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE DESIGN GROUP. THE DESIGN GROUP SHALL HAVE PRIORITY OVER ANY OTHER CONTRACTOR OR ARCHITECT. THE DESIGN GROUP SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGN GROUP SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGN GROUP SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



② GARAGE NORTH ELEVATION  
1/4" = 1'-0"



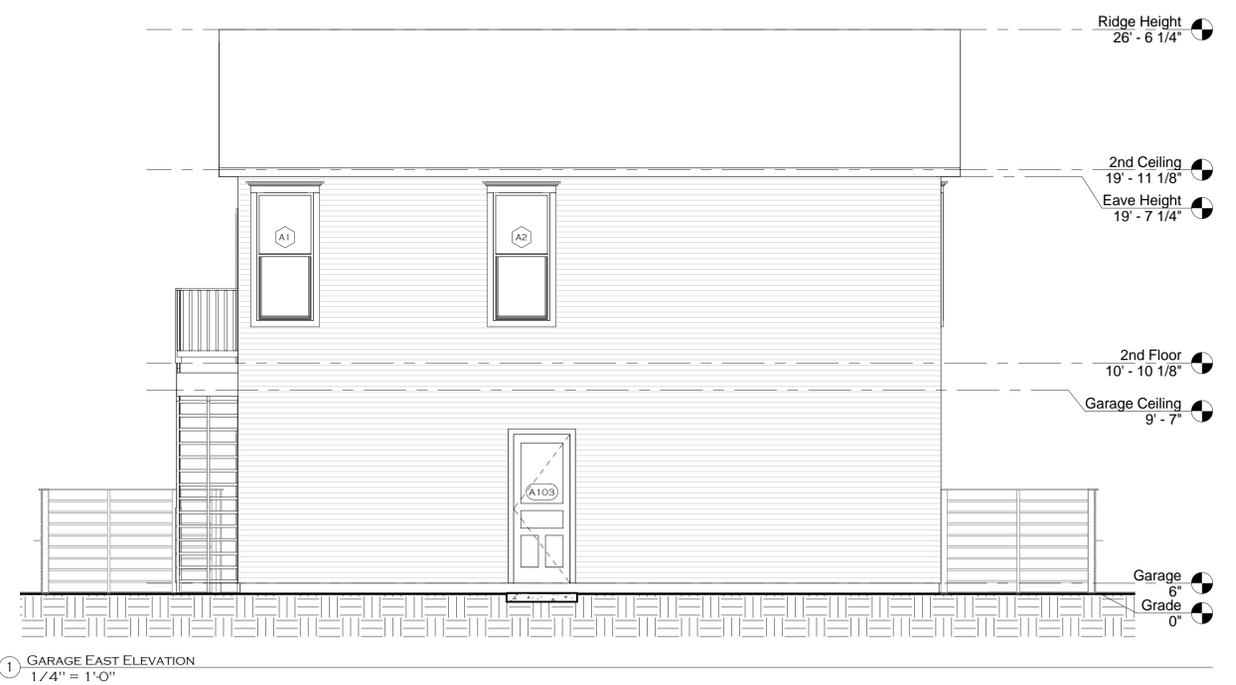
① GARAGE SOUTH ELEVATION  
1/4" = 1'-0"

LIGHT HILL PARTNERS  
**GARAGE APARTMENT**  
 1515 COLUMBIA STREET

ALL IDEAS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE CREST GROUP. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CREST GROUP. WRITTEN PERMISSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ALL PLANS DESIGNED FOR THE CONSTRUCTION OF THE BUILDING SHOULD BE REVIEWED AND REFERENCED TO BEFORE ANY CONSTRUCTION BEGINS. IN THE EVENT OF ANY CONFLICTS OR INCONSISTENCIES IN THE PLANS, THE CREST GROUP SHALL BE CONTACTED IMMEDIATELY. IF NO SUCH CONTACT IS MADE, THEN THE CONTRACTOR AND SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, ASSUME ALL LIABILITY ASSOCIATED WITH SUCH CONDUCTS OR INCONSISTENCIES.

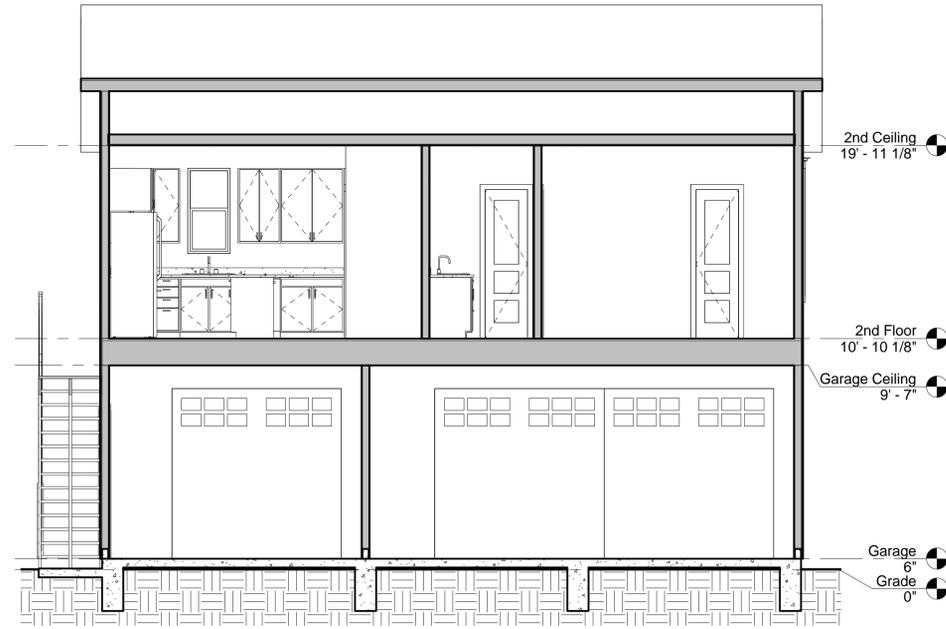


② GARAGE WEST ELEVATION  
1/4" = 1'-0"

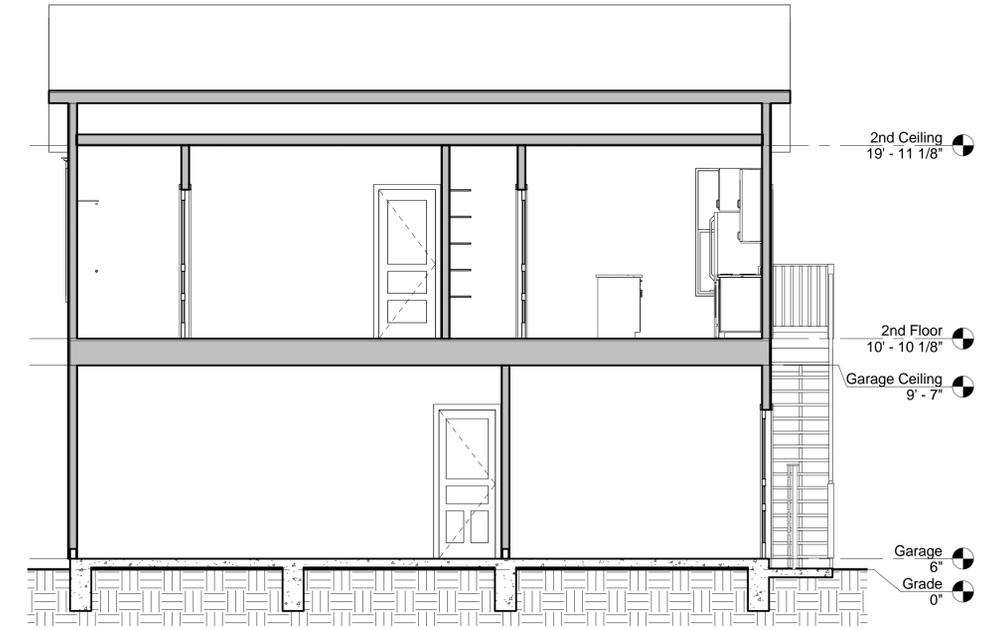


① GARAGE EAST ELEVATION  
1/4" = 1'-0"

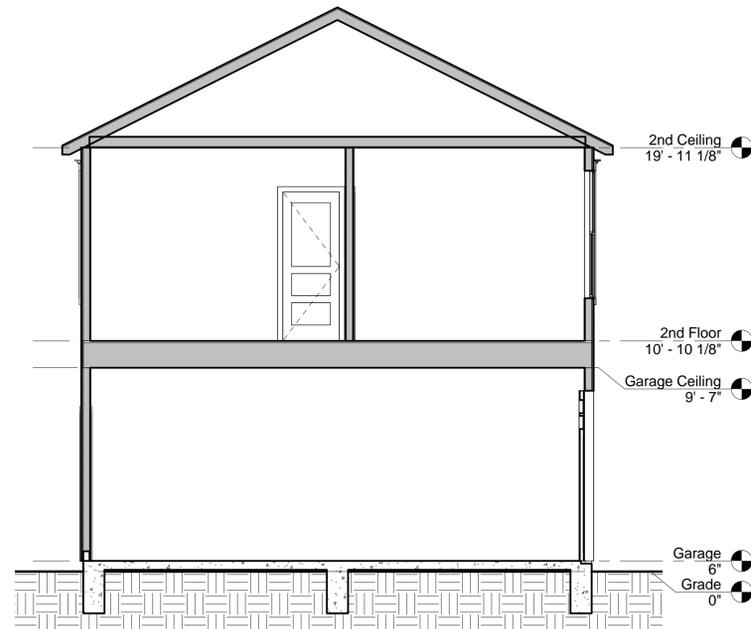
LIGHT HILL PARTNERS  
**GARAGE APARTMENT**  
 1515 COLUMBIA STREET



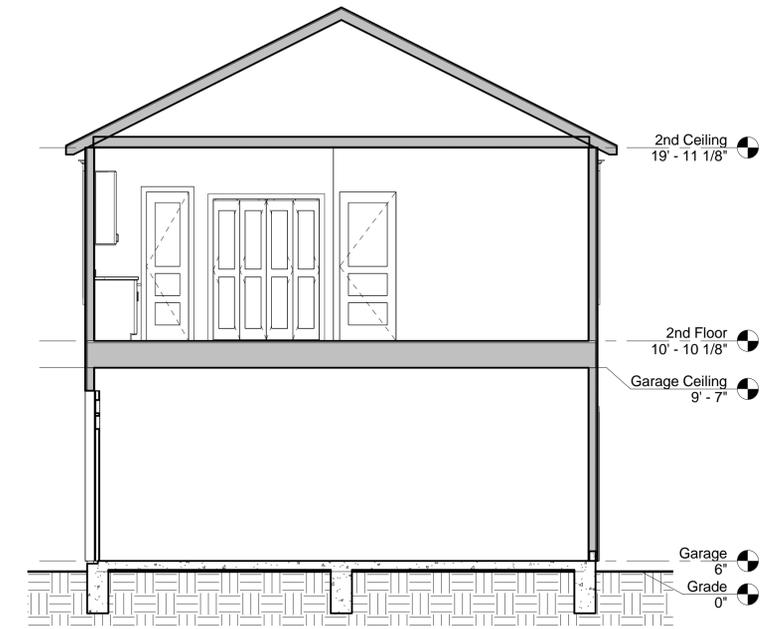
④ GARAGE SECTION 4  
1/4" = 1'-0"



③ GARAGE SECTION 3  
1/4" = 1'-0"



② GARAGE SECTION 2  
1/4" = 1'-0"



① GARAGE SECTION 1  
1/4" = 1'-0"

ALL IDEAS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGN GROUP. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGN GROUP. THE DESIGN GROUP SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE DESIGN GROUP SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGN GROUP SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGN GROUP SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

LIGHT HILL PARTNERS  
**GARAGE APARTMENT**  
 1515 COLUMBIA STREET

ALL IDEAS, PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE CREST GROUP. PURCHASERS RIGHT TO CONSTRUCT A SINGLE PROJECT ON THE LOT STATED HEREIN, AND USE IS LIMITED SPECIFICALLY TO SUCH PROPERTY. THE REPRODUCTION OR USE OF THESE PLANS CONCERNING ANY OTHER PROJECT IS STRICTLY PROHIBITED WITHOUT WRITTEN PERMISSION OF THE CREST GROUP. WRITTEN PERMISSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ALL PLANS DESIGNED FOR THE CONSTRUCTION OF THE BUILDING SHOULD BE REVIEWED AND REFERENCED TO BEFORE ANY CONSTRUCTION BEGINS. IN THE EVENT OF ANY CONFLICTS OR INCONSISTENCIES IN THE PLANS, THE CREST GROUP SHOULD BE CONTACTED IMMEDIATELY. IF NO SUCH CONTACT IS MADE, THEN THE CONTRACTOR AND SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, ASSUME ALL LIABILITY ASSOCIATED WITH SUCH CONDUCT OR INCONSISTENCIES.

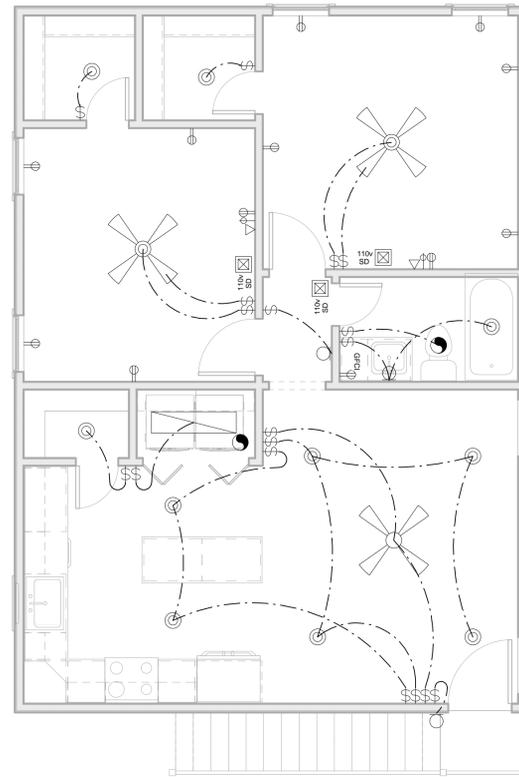
### Electrical Legend

-  110v Duplex Outlet
-  110v Quad Outlet
-  110v GFCI Outlet
-  220v Outlet
-  RG6 Cable Outlet
-  Switch
-  3 Way Switch
-  Telephone
-  Push Button
-  Reverse Sensor
-  Wall Mounted Fixture
-  6" Recess Fixture
-  Pendant / Hanging Fixture
-  Ceiling Mounted Fixture
-  Exhaust Fan
-  110v Ceiling Outlet
-  110v Smoke Detector w/ Battery Back-up
-  Undercounter Lighting
-  1x4 Fourscent Fixture
-  Ceiling Fan
-  Ceiling Fan w/ Light

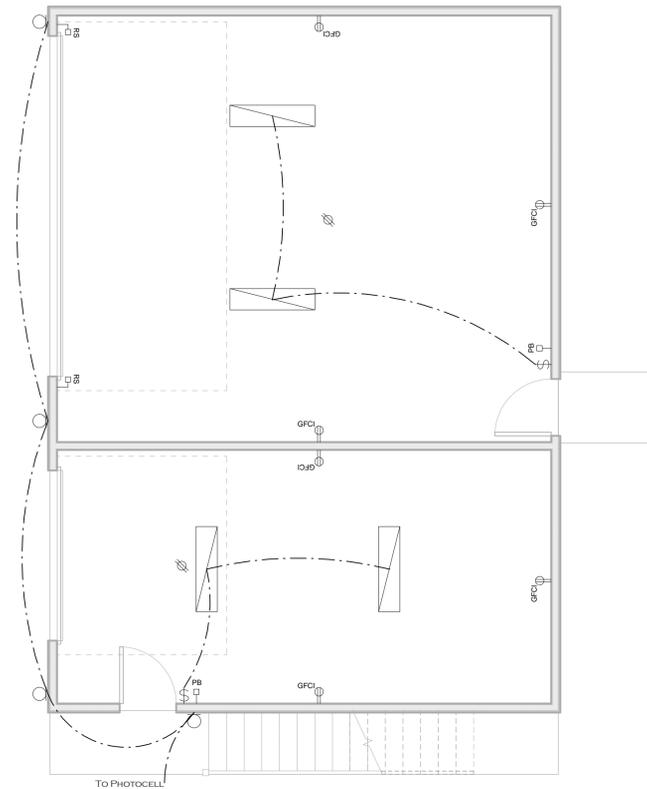
### NOTE: SMOKE ALARMS

**R313.2 LOCATION.** SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:  
 1. IN EACH SLEEPING ROOM.  
 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.  
 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASMENTS BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS.

**R313.3 POWER SOURCE.** IN NEW CONSTRUCTION, THE REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.



② ELECT-GARAGE APARTMENT-2ND FLOOR  
 1/4" = 1'-0"



① ELECT-GARAGE APARTMENT-1ST FLOOR  
 1/4" = 1'-0"

LIGHT HILL PARTNERS  
**GARAGE APARTMENT**  
 1515 COLUMBIA STREET

*Richard Gallinas Designs, Inc.*  
 Residential • Commercial • Land Planning  
 8754 Davenport Lane  
 Phone: 754-449-9791 Fax: 754-895-6907

**AI**  
**BD**  
 Member  
 of Building Team

FLORIDA INSTITUTE  
**FPD**  
 BUILDING DESIGN

Last Modified:  
 2/2/2016 10:01:37 AM  
 Last Plot:  
 Job Number:  
 2015.0037  
 Sheet Name:  
 Electrical Plans  
 Sheet Number:

E1.1