

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

**PROPERTY**

Address 1511 A Crockett  
 Historic District / Landmark 1st Ward HCAD # \_\_\_\_\_  
 Subdivision Crockett Street Landings (Barclay Estates) Lot 1 Block 1

**DESIGNATION TYPE**

- |  |  |
|--|--|
| <input type="checkbox"/> Landmark            | <input checked="" type="checkbox"/> Contributing |
| <input type="checkbox"/> Protected Landmark  | <input type="checkbox"/> Noncontributing         |
| <input type="checkbox"/> Archaeological Site | <input type="checkbox"/> Vacant                  |

**PROPOSED ACTION**

- |  |                                     |
|--|-------------------------------------|
| <input type="checkbox"/> Alteration or Addition      | <input type="checkbox"/> Relocation |
| <input type="checkbox"/> Restoration                 | <input type="checkbox"/> Demolition |
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Excavation |

**DOCUMENTS**

Application checklist for each proposed action and all applicable documentation listed within are attached

**OWNER**

Name Robert Covington  
 Company Covington Custom Builders  
 Mailing Address 3419 Mercer St  
 Phone 281-850-7414  
 Email [REDACTED]  
 Signature [Signature]  
 Date 1-19-16

**APPLICANT** (if other than owner)

Name \_\_\_\_\_  
 Company \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Email \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

PROPERTY ADDRESS: 1911 1/2 Cracker

## NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

## WRITTEN DESCRIPTION

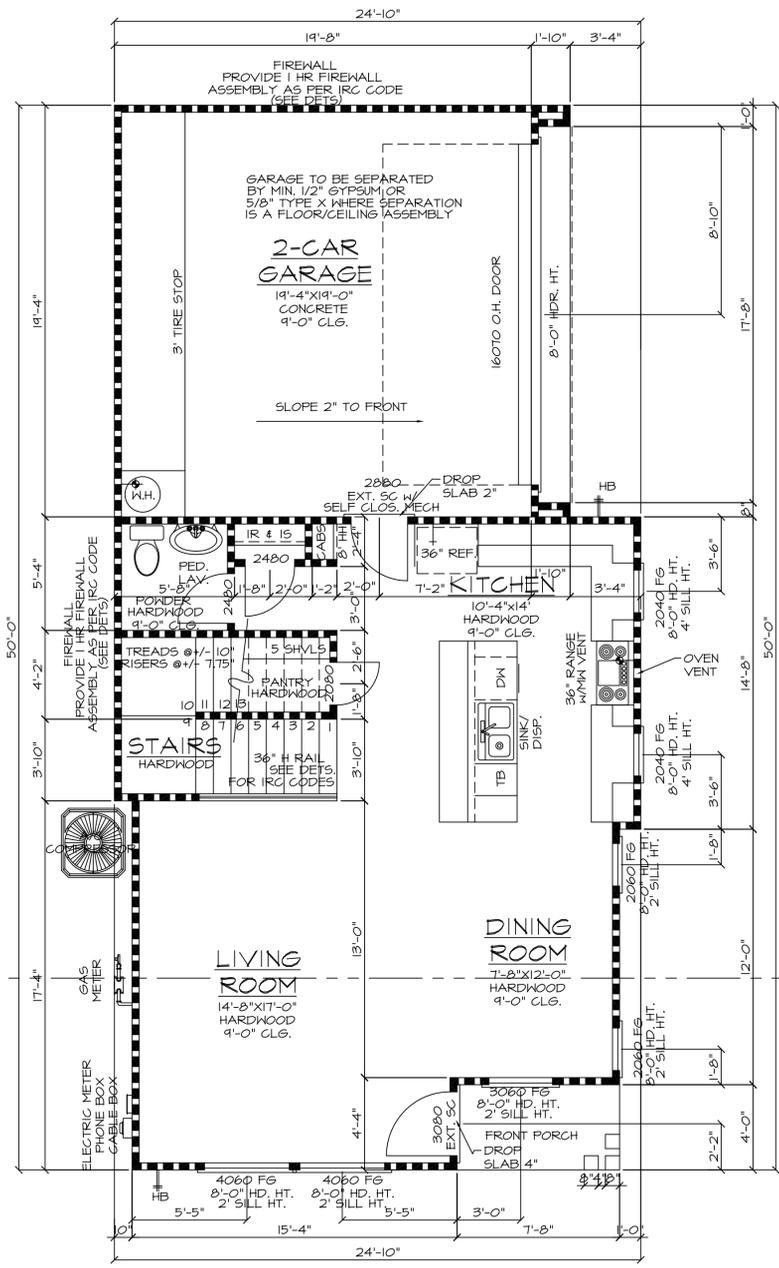
- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary
- PHOTOGRAPHS label photos with description and location
- site as seen from street, from front and corners, include neighboring properties

*Hard: plastic composition Roof*

## DRAWINGS

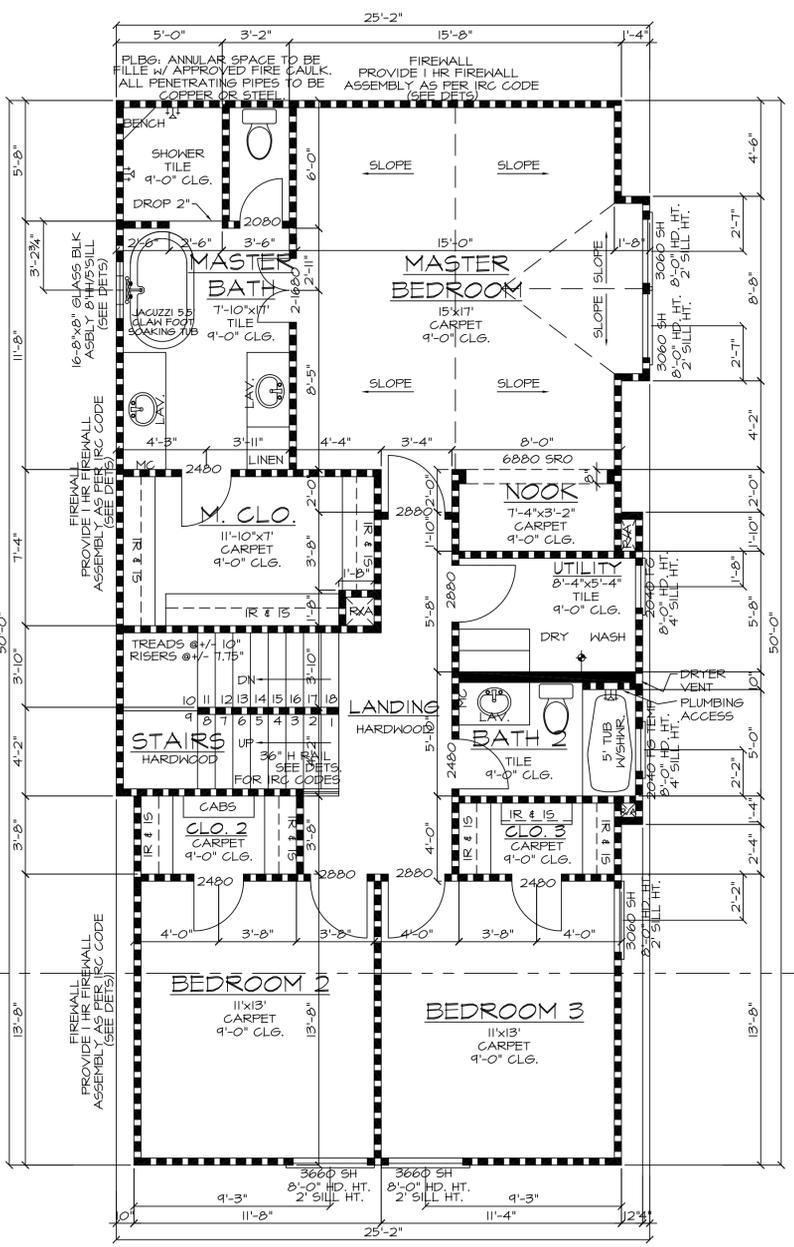
- site plan
  - floor plans
  - window and door schedule
  - roof plan
  - elevations (all sides)
  - perspective
  - NA
- scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- DRAWINGS ARE NOT TO BE SCALED. KIRKPATRICK DESIGN IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
- ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO THE FACE OF STUD UNLESS NOTED OTHERWISE. ALL F.T.D. DIMENSIONS ARE FINISHED DIMENSIONS.
- ALL WINDOW DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF WINDOW. VERIFY ROUGH OPENINGS WITH WINDOW DESCRIPTIONS.
- ALL DOOR DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF DOORS. VERIFY ROUGH OPENINGS WITH DOOR DESCRIPTIONS.
- LOCATE HINGE SIDE OF DOOR FROM ADJACENT PARTITION OR CENTERLINE UNLESS OTHERWISE NOTED.
- EXTERIOR WALLS FRAMED 2x4. TYPICAL INTERIOR WALLS FRAMED 2x4 UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS SHALL BE FINISHED TO FACE.
- FIRE BLOCKS AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF FIRE AND SMOKE ON FLOOR OR ATTIC SPACE AND SHALL SUBDIVIDE ATTIC SPACES. CONCEALED ROOF SPACES AND FLOORING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.
- USE 4" W/IN OVERLAP PANELS.
- SIZE AND PROVIDE SPLIT SYSTEM CENTRAL A/C TO SUPPLY AIR AND HEAT. USE STANDARD ABOVE DESIGN CRITERIA FOR COUNTY WHERE PROJECT LOCATED.
- VERIFY ALL RETURN AND SUPPLY AIR CHASE SIZES AND LOCATION PRIOR TO CONSTRUCTION.
- ALL FURNACES ARE TO BE LOCATED IN ATTIC. SMOKE DETECTORS ARE TO BE INTERCONNECTED AND RECEIVE PRIMARY POWER 110V FROM THE BUILDING WIRING WITH BATTERY BACKUP.
- RECEPTACLES IN ALL HABITABLE ROOMS MUST BE AT A MINIMUM DISTANCE OF 12" O.C.
- ALL BEDROOM WINDOWS MUST HAVE MAX. 4" SILL HEIGHT WITH NET CLEAR OPENING OF 5.7 SQ.FT.
- BATHROOMS MUST HAVE EXHAUST FANS IN WINDOWS WITH A MINIMUM OPENABLE AREA OF 3.0 SQ.FT.
- INSULATION FLAME SPREAD SHOULD BE LESS THAN 30 AND RAINING DENSITY NOT TO EXCEED 40.
- GREENBOARD IN WET AREAS AT TUBS AND SHOWERS.
- SAFETY GLASS AS PER I.R.C. SECTION R308.1 AT SHOWER DOORS AND MAJOR RISER LOCATIONS AS DEFINED IN I.R.C. 308.4.
- CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FT. BUT NOT LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF AS PER SECTION R 303.6.
- THE GARAGE IS SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 5" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AS PER I.R.C. SECTION R302.2 AS PER TABLE R703.3. TYPE X GYPSUM BOARD INSTALLED ON CEILING OF GARAGES WHERE THERE IS HABITABLE SPACE ABOVE.
- THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE IS SOLID CORE OR A 20 MINUTE RATED, AND SELF CLOSING AS PER I.R.C. SECTION R303.1.
- THE ATTIC ACCESS STAIRWAY SHOULD COMPLY WITH SECTION M100.5.1. ATTIC CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A FULL DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22" IN WIDTH BETWEEN THE HARDWARE AND A LOAD CAPACITY OF NOT LESS THAN 300 LB. AN OPENING AND A CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 30" WIDE AND NOT MORE THAN 20" IN LENGTH UNLESS THE APPLIANCE IS A REFRIGERATOR. THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE, THE PASSAGEWAY SHALL HAVE CONTIGUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5. NOT LESS THAN 24" WIDE. ALL VENTS SHALL BE PRESENT AT LEAST 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG THE BEES OF THE APPLIANCES WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 30" BY 54" WHERE SUCH DIMENSIONS ARE LOW ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.



**FIRST FLOOR PLAN**  
1/4"=1'-0" ALL ANGLES 45° U.O.N.

AREA CALCULATIONS	
FIRST FLOOR LIVING:	100 SQ.FT.
SECOND FLOOR LIVING:	1126 SQ.FT.
THIRD FLOOR LIVING:	286 SQ.FT.
<b>TOTAL LIVING AREA:</b>	<b>2112 SQ.FT.</b>
4-CAR GARAGE (W/STORAGE):	416 SQ.FT.
FRONT PORCH:	31 SQ.FT.
MECHANICAL:	81 SQ.FT.
<b>TOTAL COVERED AREA:</b>	<b>2640 SQ.FT.</b>



**SECOND FLOOR PLAN**  
1/4"=1'-0" ALL ANGLES 45° U.O.N.

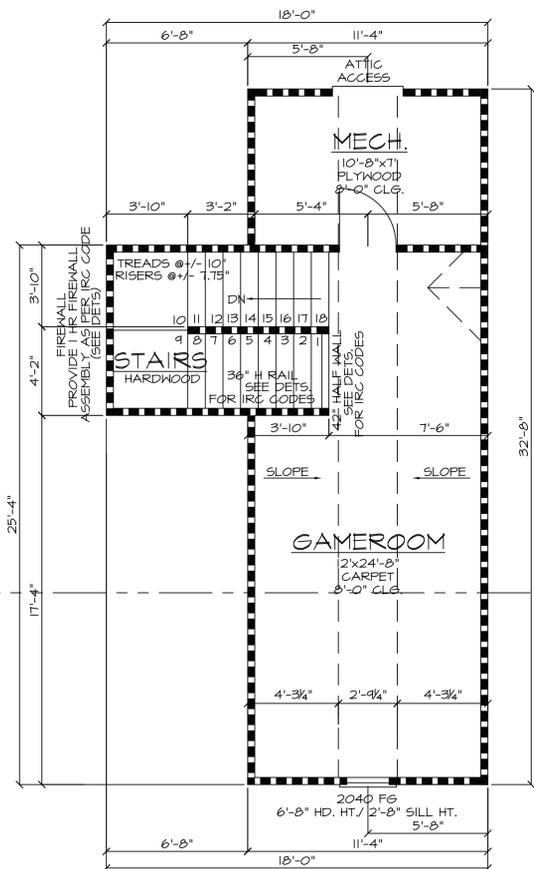
NOTE: SEE INTERIOR ELEVATIONS FOR MORE DETAILED FRAMING DIMENSIONS

**WALL TYPE SCHEDULE:**

- = 2x4 STUDS AT 16" O.C.
- = 2x4 STUDS AT 16" O.C. WITH BRICK/STONE LEDGE
- = MIN. 2x6 STUDS AT 16" O.C.
- = MIN. 2x6 STUDS AT 16" O.C. WITH BRICK/STONE LEDGE

**WINDOW ABBREVIATIONS:**

- SH = SINGLE-HUNG
- DH = DOUBLE-HUNG
- HS = HORIZONTAL SLIDER
- CSMT = CASEMENT
- DL = DIVIDED LIGHT
- FG = FIXED GLASS
- AT = ARCH TOP
- RT = ROUND TOP
- HD. HT. = HEADER HEIGHT



**THIRD FLOOR PLAN**  
1/4"=1'-0" ALL ANGLES 45° U.O.N.

**FLOOR PLAN NOTES:**

- ALL WINDOW HEADER HEIGHTS MEASURED FROM FINISHED FLOOR IMMEDIATELY INSIDE WINDOW.
- ALL CEILING HTS. MEASURED FROM THE FINISHED FLOOR IN THE ROOM BEING CALLED OUT (GARAGE CEILING HTS. MEASURED FROM THE KNEEL STOP ELEVATION).
- PROVIDE 3/8" TYPE "X" GYPSUM WALLBOARD ON ALL WALLS AND CEILING IN GARAGE AND IN ANY USABLE SPACE UNDER STAIRS IN ACCORDANCE WITH 2000 I.R.C. SECTION R314.9.
- STAIRWAYS SHALL COMPLY WITH 2000 I.R.C. SECTION R314. MINIMUM WIDTH BETWEEN HAND RAILS SHALL BE 36" WITH EXCEPTION OF SPIRAL STAIRS. SPIRAL STAIRS SHALL COMPLY WITH 2000 I.R.C. SECTION R314.5.
- HANDRAILS SHALL BE 34" TO 38" ABOVE THE NOSE OF STAIR TREADS AS PER 2000 I.R.C. SECTION R315.
- ALL GUARDRAILS SHALL BE 36" AFF (MIN.) WITH BALLUSTERS SPACED IN ACCORDANCE WITH 2000 I.R.C. SECTION R316.
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH 2000 I.R.C. SECTIONS R315 AND R316.
- HANDGRIPPING PORTION OF ALL HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION NOT LESS THAN 1 1/2" AND NOT MORE THAN 2 3/8" OR THE SHAPE SHALL PROVIDE EQUIVALENT GRIPPING SURFACE IN ACCORDANCE WITH 2000 I.R.C. SECTION R315.2.
- PROVIDE 1 3/4" MIN. SOLID WOOD OR 20-MINUTE FIRE-RATED SELF-CLOSING DOOR BETWEEN GARAGE AND RESIDENCE IN ACCORDANCE WITH 2000 I.R.C. SECTION 304.1.
- SMOKE DETECTORS REQUIRE I/OV CONNECTION TO HOUSE WIRING WITH BATTERY BACKUP. LOCATIONS SHALL COMPLY WITH 2000 I.R.C. SECTION R317.
- ALL BEDROOM WINDOWS SHALL BE 44" AFF (MAX.) WITH 24" HIGH (MIN.) X 20" WIDE (MIN.) OPENING AND 5.7 SQ.FT. (MIN.) NET CLEAR OPENING AS PER 2000 I.R.C. SECTION R310.
- LOCATE GAS WATER HEATER AS INDICATED ON THE FLOOR PLANS IN PAN WITH RELIEF DRAIN LINE TO EXTERIOR. INSTALLATION MUST COMPLY WITH 2000 I.R.C. SECTION M200.5.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THRU NATURAL OR MECHANICAL MEANS IN ACCORDANCE WITH 2000 I.R.C. SECTION 303.3.
- ALL MASONRY AND PREFAB FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH 2000 I.R.C. CHAPTER 10. A COPY OF THE MANUFACTURER'S INSTALLATION MANUAL SHALL BE AVAILABLE AT THE JOBSITE FOR INSPECTOR'S REVIEW.
- USE 1 3/8" MASONITE SOLID-CORE 3 PANEL DOORS AT INTERIOR U.O.N.
- USE 1 3/4" MASONITE SOLID-CORE DOORS AT EXTERIOR (REFER TO ELEVATIONS FOR STYLE).
- FINAL LOCATION OF A/C COMPRESSORS, ELECTRIC METER, GAS METER, PHONE, CABLE, ETC., MAY VARY DUE TO FIELD CONDITIONS.
- SHOWER STALLS AND TUB WALLS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR AS PER 2000 I.R.C. SECTION 307.2.
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH 2000 I.R.C. CHAPTER 10. A COPY OF THE MANUFACTURER'S INSTALLATION MANUAL SHALL BE AVAILABLE AT THE JOBSITE FOR INSPECTOR'S REVIEW.
- LOCATE ALL SHOWER HEADS AT 78" AFF TYP.
- TONNAGE FOR A/C UNITS SHOWN IS FOR ESTIMATING PURPOSES ONLY; THE HVAC CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE PERFORMANCE OF THE HVAC SYSTEMS INSTALLED.
- THREE-STORY STRUCTURES SHALL UTILIZE 5/8" TYPE "X" SHEETROCK THROUGHOUT.
- ALL BREEZEWAYS SHALL BE FIRESTOPPED AS PER 2000 I.R.C.
- VERIFY FLOOR PLUG LOCATIONS WITH OWNER PRIOR TO SLAB INSTALLATION.

**SHEET CONTENTS:**

**FLOOR PLANS**

1911A Crockett St  
Lot 4, Blk 314  
Shearn Addition  
Houston, Texas 77005  
Harris County

**PAGE NUMBER:**

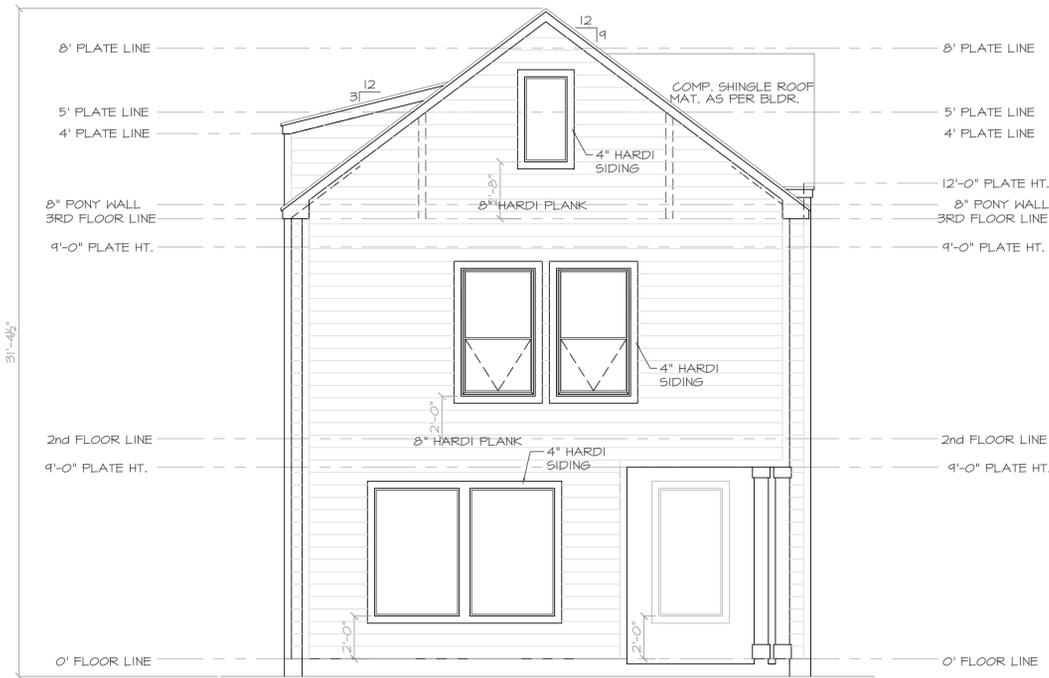
GENERAL NOTES TO SHEET:

- DRAWINGS ARE NOT TO BE SCALED. KIRKPATRICK DESIGN IS TO BE NOTED IN CASE OF DETAIL ANOMALY OR DIMENSION DISCREPANCY.
- ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO FACE OF STUD UNLESS NOTED WITH F.D. ALL F.D. DIMENSIONS ARE FINISHED DIMENSIONS.
- ALL WINDOW DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF WINDOW VERIFY ROUGH OPENINGS WITH WINDOW DESCRIPTIONS.
- ALL DOOR DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF DOORS, VERIFY ROUGH OPENINGS WITH DOOR DESCRIPTIONS.
- LOCATE HINGE SIDE OF DOOR 4" FROM ADJACENT PARTITION OR CENTERED IN SPACE UNLESS OTHERWISE NOTED.
- EXTERIOR WALLS FRAMED 2X6 UNLESS OTHERWISE NOTED. BUILDER WILL SPECIFY ON-CENTER LOCATIONS.
- FIRE BLOCKS AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, AND FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SURROUND ALL PENETRATING ASSEMBLIES, THE INTERSECT OF ALL FINE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.
- SUPPLY 4" W/IN OVERFLOW PANES.
- SIZE AND PROVIDE SPLIT SYSTEM CENTRAL A/C TO SUPPLY AIR AND HEAT. USE STANDARD ASHRAE DESIGN CRITERIA FOR COUNTY WHERE PROJECT LOCATED.
- VERIFY ALL RETURN AND SUPPLY AIR CHASE SIZES AND LOCATION PRIOR TO CONSTRUCTION.
- ALL FURNACES ARE TO BE LOCATED IN ATTIC.
- SMOKE DETECTORS TO BE INTERCONNECTED AND RECEIVE PRIMARY POWER 120V FROM THE BUILDING WIRING WITH BATTERY BACKUP.
- RECYCLABLES IN ALL HABITABLE ROOMS MUST BE AT A MINIMUM DISTANCE OF 120" O.C.
- ALL BEDROOM WINDOWS MUST HAVE MAX. 44" GILL HEIGHT WITH NET CLEAR OPENING OF 5.7 SQ. FT.
- BATHROOMS MUST HAVE EXHAUST FANS OR WINDOWS WITH A MINIMUM OPENABLE AREA OF 3.0 SQ. FT.
- ISOLATION FLAME SPREAD SHOULD BE LESS THAN 25 AND SMOKE DENSITY NOT TO EXCEED 450.
- GREENBOARD IN WET AREAS AT TUBS AND SHOWERS.
- SAFETY GLASS AS PER I.R.C. SECTION R308.1 AT SHOWER DOORS AND HAZARDOUS LOCATIONS AS DEFINED IN I.R.C. 308A.
- CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FT. BUT NOT LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF AS PER SECTION R 1001.6.
- THE GARAGE IS SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AS PER I.R.C. SECTION R302.2 AS PER TABLE R302.3. TYPE X GYPSUM BOARD INSTALLED ON CEILING OF GARAGES WHERE THERE IS HABITABLE SPACE ABOVE.
- THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE IS SOLID CORE OR 1 1/2" MINUTE RATED, AND SELF CLOSING AS PER I.R.C. SECTION R303.1.
- THE ATTIC ACCESS STAIRWAY SHALL COMPLY WITH SECTION M 1005.1.3. ATTIC CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A PULL-DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 20" IN WIDTH BETWEEN THE HARDWARE AND A LOAD CAPACITY OF NOT LESS THAN 30 LBS. AN OPENING AND A CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 30" WIDE AND NOT MORE THAN 20" IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5.07. LESS THAN 24" WIDE. A LEVEL SERVICE SPACE AT LEAST 24" DEEP AND 30" WIDE SHALL BE PROVIDED ALONG THE SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 30" BY 54" WHERE SUCH DIMENSIONS ARE LONG ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
- BUILDER TO FOLLOW GUIDELINES AS SET FORTH BY INTENTED NEIGHBORHOOD ASSOCIATION.

SHEET CONTENTS:  
**ELEVATIONS**

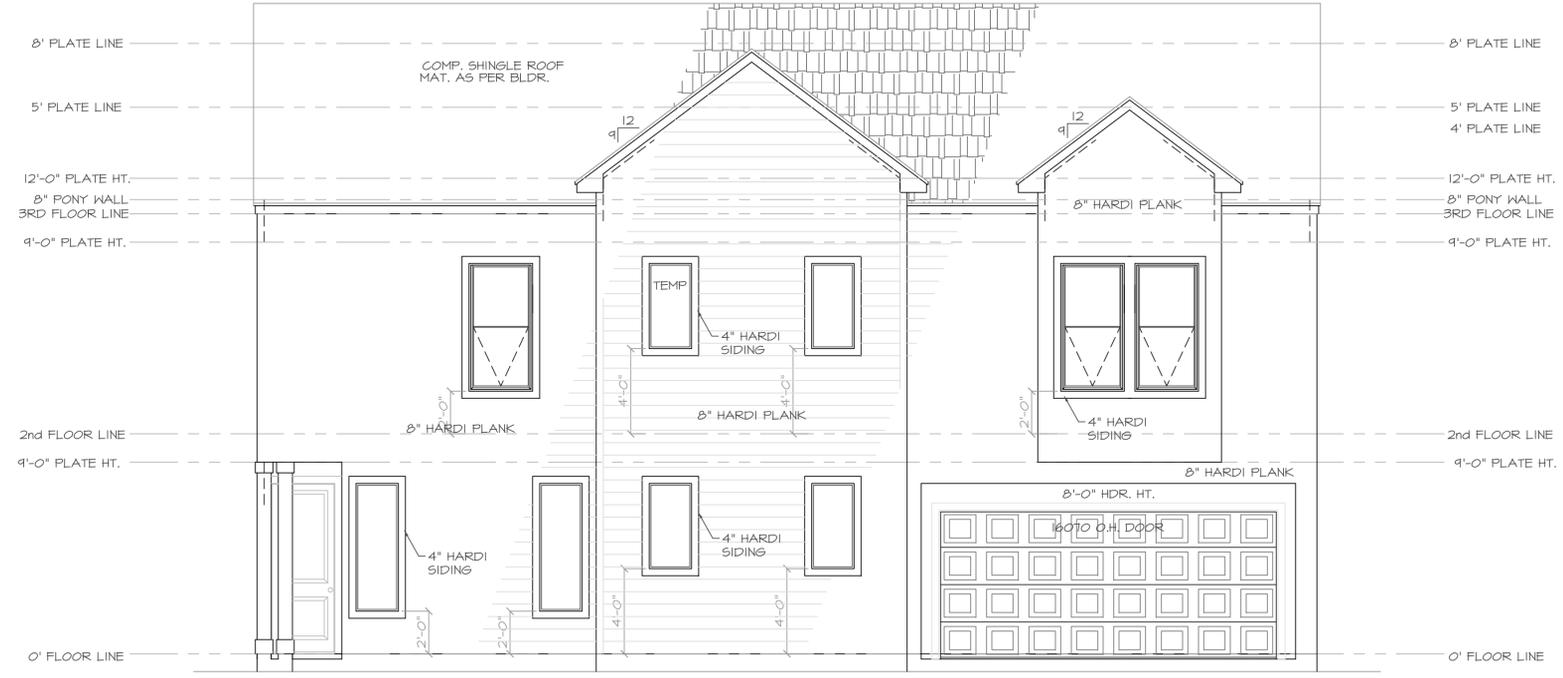
1911A Crockett St  
Lot 4, Blk 314  
Shearn Addition  
Houston, Texas 77005  
Harris County

PROJECT NUMBER



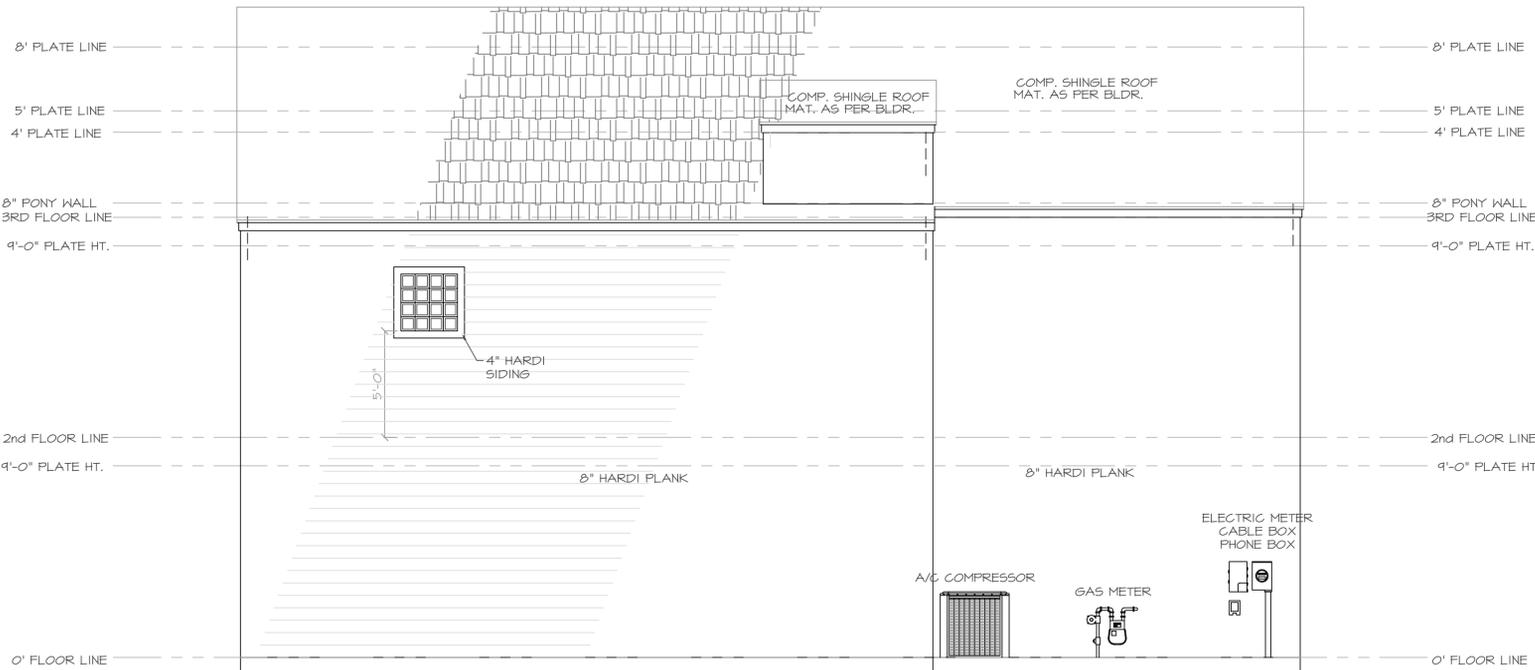
**FRONT ELEVATION**

1/4"=1'-0"



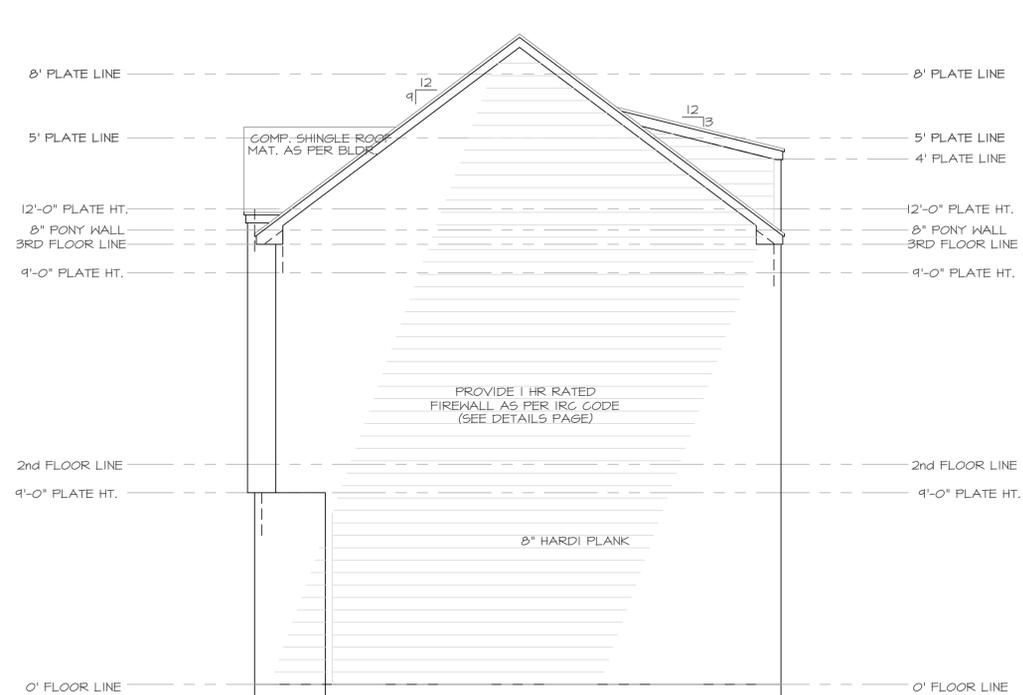
**RIGHT ELEVATION**

1/4"=1'-0"



**LEFT ELEVATION**

1/4"=1'-0"

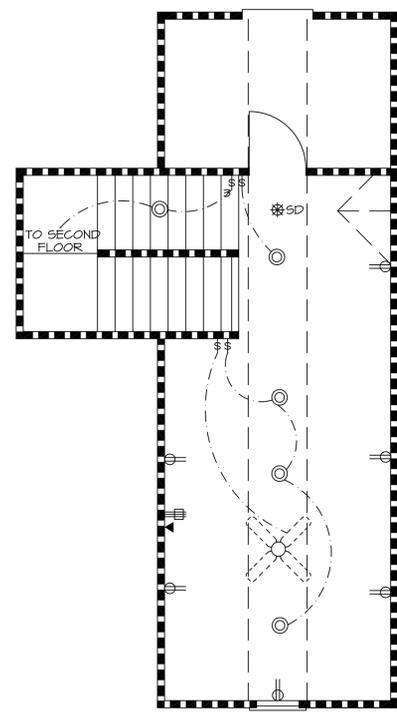


**REAR ELEVATION**

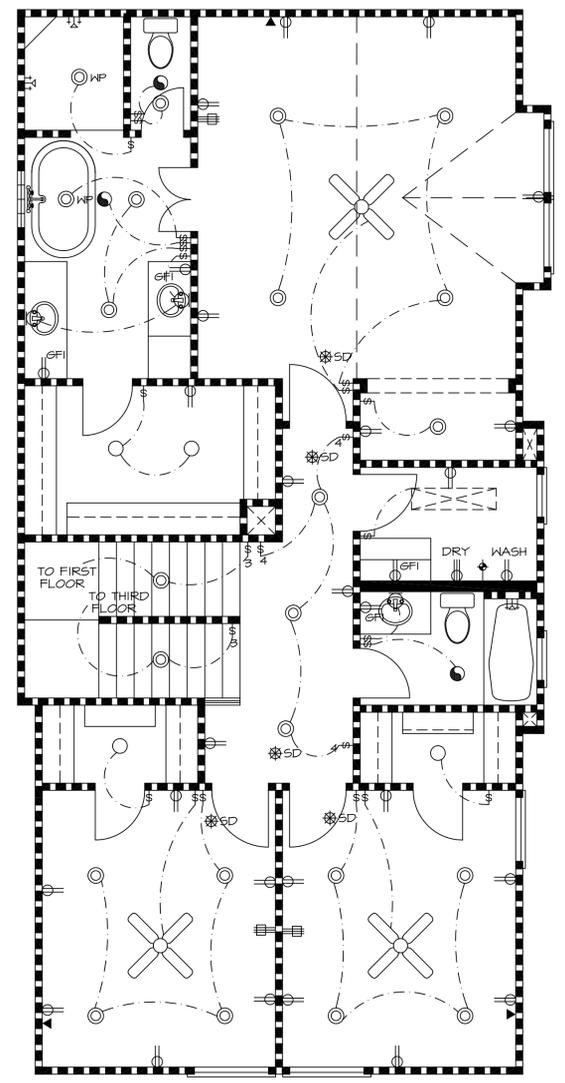
1/4"=1'-0"

**GENERAL NOTES TO SHEET:**

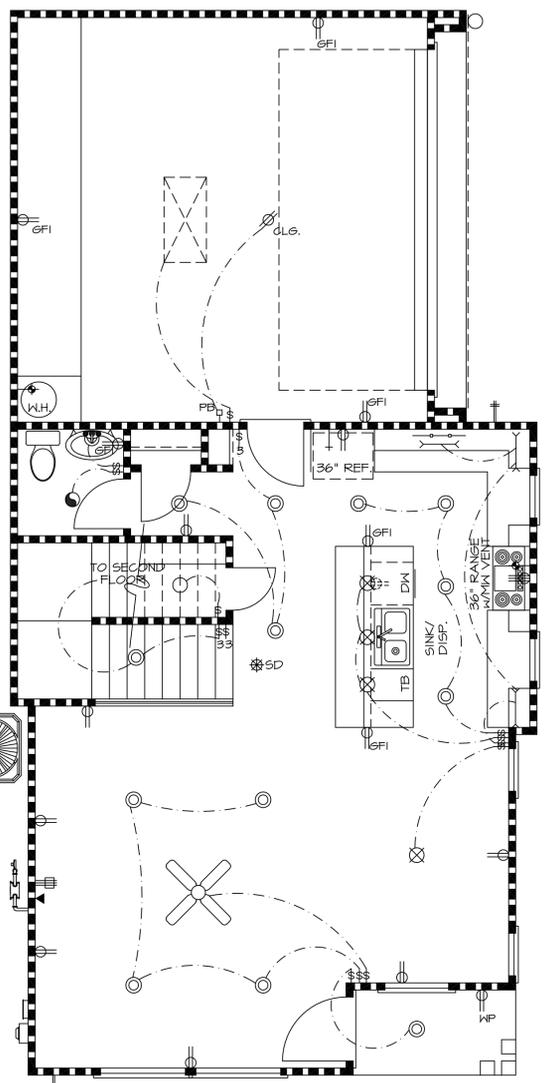
- DRAWINGS ARE NOT TO BE SCALED. KIRKPATRICK DESIGN IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
- ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO FACE OF STUD UNLESS NOTED WITH F.O.D. ALL F.O.D. DIMENSIONS ARE FINISHED DIMENSIONS.
- ALL WINDOW DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF WINDOW. VERIFY ROUGH OPENINGS WITH WINDOW DESCRIPTIONS.
- ALL DOOR DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF DOORS. VERIFY ROUGH OPENINGS WITH DOOR DESCRIPTIONS.
- LOCATE HINGE SIDE OF DOOR IF FROM ADJACENT PARTITION OR CENTERED IN SPACE UNLESS OTHERWISE NOTED.
- EXTERIOR WALLS FRAMED 2x6. TYPICAL INTERIOR WALLS FRAMED 2x4 UNLESS NOTED OTHERWISE. BUILDER WILL SPECIFY ON-CENTER LOCATIONS.
- FIRE BLOCKS AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL AND FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES. CONCEALED ROOF SPACES AND FLOOR/CILING ASSEMBLIES, THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPPING SHALL BE MAINTAINED.
- SUPPLY F'W OVERFLOOR PANS.
- SEE AND PROVIDE RISE SYSTEM CENTRAL A/C TO SUPPLY AIR AND HEAT. USE STANDARD ASHRAE DESIGN CRITERIA FOR COUNTY WHERE PROJECT LOCATED.
- VERIFY ALL RETURN AND SUPPLY AIR CHASE SIZES AND LOCATION PRIOR TO CONSTRUCTION.
- ALL FURNACES ARE TO BE LOCATED IN ATTIC.
- SMOKE DETECTORS TO BE INTERCONNECTED AND RECEIVE PRIMARY POWER 100% FROM THE BUILDING WIRING WITH BATTERY BACKUP.
- RECEPTACLES IN ALL HABITABLE ROOMS MUST BE AT A MINIMUM DISTANCE OF 12" O.C.
- ALL BEDROOM WINDOWS MUST HAVE MAX. 44" SILL HEIGHT WITH NET CLEAR OPENING OF 7 SQ. FT.
- BATHROOMS MUST HAVE EXHAUST FANS OR WINDOWS WITH A MINIMUM OPENABLE AREA OF 1.0 SQ. FT.
- INSULATION FLAME SPREAD SHOULD BE LESS THAN 25 AND SMOKE DENSITY NOT TO EXCEED 450.
- GREENGLASS IN WET AREAS AT TUBS AND SHOWERS.
- SAFETY GLASS AS PER I.R.C. SECTION R602.1 AT SHOWER DOORS AND HAZARDOUS LOCATIONS AS DEFINED IN I.R.C. 2004.
- CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FT. BUT NOT LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF AS PER SECTION R1001.
- THE GARAGE IS SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 6" COPOLYMER BOARD APPLIED TO THE GARAGE SIDE AS PER I.R.C. SECTION R302.2.5 PER TABLE R302.2.5. TYPE X GYPSUM BOARD INSTALLED ON CEILING OF GARAGES WHERE THERE IS HABITABLE SPACE ABOVE.
- THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE IS SOLID CORE OR 20 MINUTE RATED, AND SELF CLOSING AS PER I.R.C. SECTION R302.1.
- THE ATTIC ACCESS STAIRWAY SHOULD COMPLY WITH SECTION M103.1.3. ATTICS CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A FULL-DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 27" IN WIDTH BETWEEN THE HANDRAILS AND ALSO CAPACITY OF NOT LESS THAN 350 LBS. AN OPENING AND A CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 30" WIDE AND NOT MORE THAN 10' IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 6 NOT LESS THAN 2" WIDE. A LEVEL SERVICE SPACE AT LEAST 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG THE SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 30" BY 54" WHERE SUCH DIMENSIONS ARE LONG ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
- BUILDER TO FOLLOW GUIDELINES AS SET FORTH BY INTENTED NEIGHBORHOOD ASSOCIATION.



**THIRD FLOOR ELECTRICAL PLAN**  
1/4"=1'-0"



**SECOND FLOOR ELECTRICAL PLAN**  
1/4"=1'-0"



**FIRST FLOOR ELECTRICAL PLAN**  
1/4"=1'-0"

ELECTRICAL LEGEND			
	110 VOLT RECEPTACLE		STEP LIGHT
	WATERPROOF RECEPTACLE		WALL WASHER OR LOW VOLTAGE LT.
	110 VOLT IN CEILING		SCORCE OR WALL MOUNTED FIXTURE
	110 VOLT AT FIREPLACE MANTLE		PORCELAIN FIXTURE W/ PULL CORD
	110 VOLT W/GROUND FAULT INTERRUPT		FLOOD LIGHTS
	110 VOLT IN FLOOR		EXHAUST FAN
	110 VOLT "PLUG MOLD"		EXHAUST FAN W/ LIGHT
	220 VOLT RECEPTACLE		EXHAUST FAN W/ HEAT LAMP
	TELEVISION ANTENNA/CABLE JACK		EXHAUST FAN W/ HEAT LAMP & LIGHT
	TELEPHONE JACK		CEILING FAN
	SINGLE POLE SWITCH		CEILING FAN W/ LIGHT
	3-WAY SWITCH		CEILING LIGHT W/ FUTURE FAN
	4-WAY SWITCH		2' x 2' FLUORESCENT LIGHT
	DIMMER SWITCH		1' x 4' FLUORESCENT LIGHT
	PUSH BUTTON		2' x 4' FLUORESCENT LIGHT
	SMOKE DETECTOR INTERCONNECTED AND HARD-WIRED W/BATTERY BACKUP		UNDER-COUNTER LIGHT
	THERMOSTAT		OVER-COUNTER LIGHT
	CHIMES		TRACK LIGHTING
	CEILING MOUNTED LIGHT FIXTURE		
	HANGING LIGHT		
	LAMP POST		
	RECESSED CAN LIGHT		
	WATERPROOF RECESSED CAN LIGHT		
	RECESSED EYEBALL SPOT LIGHT		
	MONO-POINT OR DIRECTIONAL LT.		

**ELECTRICAL NOTES:**

- NO WIRING SMALLER THAN 12 AWG.
- VERIFY FLOOR PLUG LOCATIONS WITH OWNER PRIOR TO SLAB INSTALLATION.
- ALL WIRING MUST BE COPPER WITH EXCEPTION OF UNDERGROUND TO MAIN BOX AND FROM MAIN BOX TO BREAKERS, WHICH SHALL BE CODE-APPROVED ALUMINUM.
- ALL LIGHT SWITCHES SHALL BE MOUNTED AT 36" AFF.
- USE LEVITON "DECORA" ROCKER SWITCHES AT ALL STANDARD LIGHT AND APPLIANCE SWITCHES.
- USE LUTRON "SKYLARK" SLIDING CONTROL AT ALL DIMMER (RHEOSTAT) LIGHT SWITCHES.
- ALL SMOKE DETECTORS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH 2009 I.R.C. SECTION R317 AND SHALL CONFORM TO THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.
- PROVIDE ELECTRIC SERVICE FOR POOL EQUIPMENT, LANDSCAPE LIGHTING, FRONT ELEVATION LIGHTING, MOTOR COURT LIGHTING, ETC., ACCORDING TO BUILDER'S INSTRUCTIONS. USE TIMERS AS APPROPRIATE AND LOCATE CONTROL FOR ALL SUCH ITEMS FROM GARAGE OR FROM ANOTHER LOCATION AS SPECIFIED BY THE BUILDER.
- INSTALL 110V PLUGS MOUNTED HORIZONTALLY IN THE BASE BOARD WHERE BASE BOARDS ARE 1X8 IN SIZE OR GREATER.

**SHEET CONTENTS: ELECTRICALS**

1911A Crockett St  
Lot 4, Blk 314  
Shearn Addition  
Houston, Texas 77005  
Harris County

**PROJECT NUMBER**



A CUSTOM RESIDENCE FOR:  
**CROCKETT  
STREET  
TOWNHOMES**

DATES ISSUED:  
10/6/2015

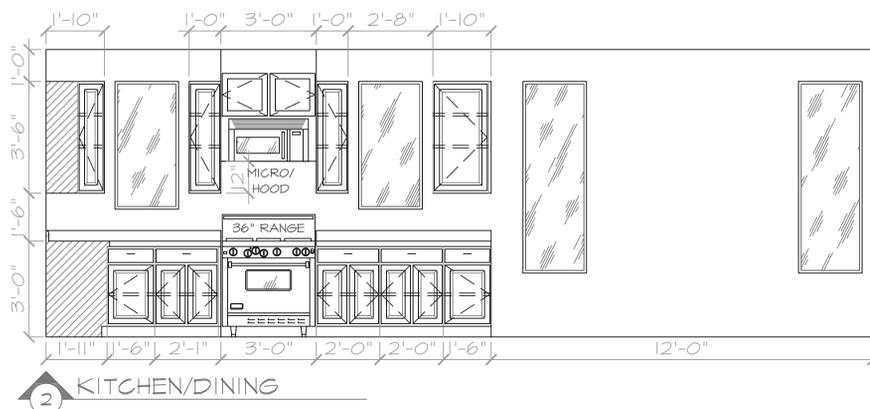
Covington Builders  
3419 Mercer,  
Houston, Texas 77027

**GENERAL NOTES TO SHEET:**

1. DRAWINGS ARE NOT TO BE SCALED. KIRKPATRICK DESIGN IS TO BE NOTICED IN CASE OF SETBACK AND/OR DIMENSION DISCREPANCY.
2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO FACE OF STUD UNLESS NOTED WITH F.O. ALL F.O. DIMENSIONS ARE FINISHED DIMENSIONS.
3. ALL WINDOW DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF WINDOW. VERIFY WINDOW OPENINGS WITH WINDOW DESCRIPTIONS.
4. ALL DOOR DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF DOORS. VERIFY DOOR OPENINGS WITH DOOR DESCRIPTIONS.
5. LOCATE HINGE SIDE OF DOOR 4" FROM ADJACENT PARTITION OR CENTERED IN SPACE UNLESS OTHERWISE NOTED.
6. EXTERIOR WALLS FRAMED 2X6. TYPICAL INTERIOR WALLS FRAMED 2X4 UNLESS NOTED OTHERWISE. BUILDER WILL SPECIFY ON-CENTER LOCATIONS.
7. FIRE BLOCKS AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, AND FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBVERTICALLY SPACES, CONCEALED ROOF SPACES AND FLOOR/CERAMIC ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.
8. SUPPLY 6" W/IN OVER FLOOR PANELS.
9. SIZE AND PROVIDE SPLIT SYSTEM CENTRAL A/C TO SUPPLY AIR AND HEAT. USE STANDARD ASHRAE DESIGN CRITERIA FOR CLIMATE WHERE PROJECT LOCATED.
10. VERIFY ALL RETURN AND SUPPLY AIR CHASE SIZES AND LOCATION PRIOR TO CONSTRUCTION.
11. ALL FURNACES ARE TO BE LOCATED IN ATTIC.
1. SMOKE DETECTORS TO BE INTERCONNECTED AND RECEIVE PRIMARY POWER 110V FROM THE BUILDING WIRING WITH BATTERY BACKUP.
2. RECEPTACLES IN ALL HABITABLE ROOMS MUST BE AT A MINIMUM DISTANCE OF 120" O.C.
3. ALL BEDROOM WINDOWS MUST HAVE MAX. 44" SILL HEIGHT WITH NET CLEAR OPENING OF 57 SQ. FT.
4. BATHROOMS MUST HAVE EXHAUST FANS OR WINDOWS WITH A MINIMUM OPENABLE AREA OF 3.0 SQ. FT.
5. INSULATION FLAME SPREAD SHOULD BE LESS THAN 25 AND SMOKE DENSITY NOT TO EXCEED 450.
6. GREENBOARD IN WET AREAS AT TUBS AND SHOWERS.
7. SAFETY GLASS AS PER I.R.C. SECTION R308.1 AT SHOWER DOORS AND HAZARDOUS LOCATIONS AS DEFINED IN I.R.C. 308.4.
8. CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FT. BUT NOT LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF AS PER SECTION R 1001.6.
9. THE GARAGE IS SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AS PER I.R.C. SECTION R602 AS PER TABLE R703.5. TYPE X GYPSUM BOARD INSTALLED ON CEILING OF GARAGES WHERE THERE IS HABITABLE SPACE ABOVE.
10. THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE IS SOLID CORE OR 20 MINUTE RATED, AND SELF CLOSING AS PER I.R.C. SECTION R309.1.
11. THE ATTIC ACCESS STAIRWAY SHOULD COMPLY WITH SECTION M1303.1.3. ATTICS CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A PULL-DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22" W/TH BETWEEN THE HARDWARE AND A LOAD CAPACITY OF NOT LESS THAN 350 LBS. AN OPENING AND A CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 30" WIDE AND NOT MORE THAN 24" IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5, NOT LESS THAN 24" WIDE. A LEVEL SERVICE SPACE AT LEAST 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG THE SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 30" BY 54" WHERE SUCH DIMENSIONS ARE LONG ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
12. BUILDER TO FOLLOW GUIDELINES AS SET FORTH BY INTENTED NEIGHBORHOOD ASSOCIATION.



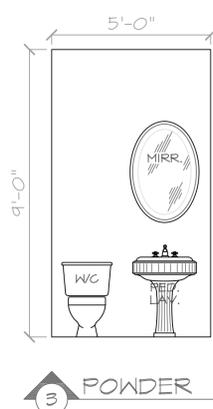
1 LIVING ROOM



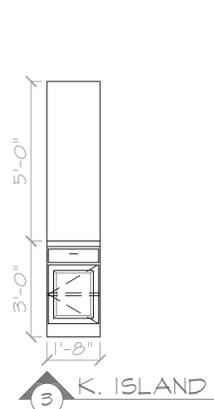
2 KITCHEN/DINING



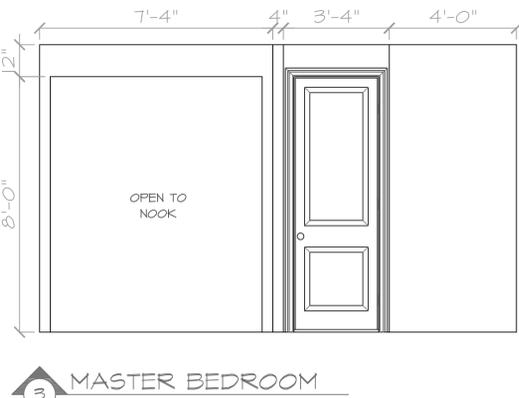
3 K. ISLAND



3 POWDER



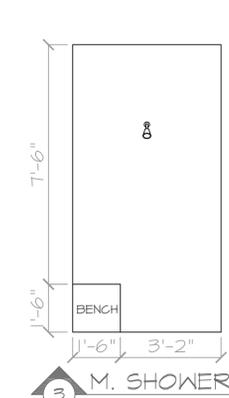
3 K. ISLAND



3 MASTER BEDROOM



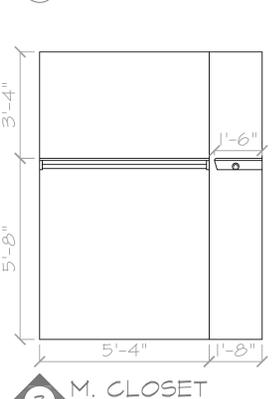
3 MASTER BATH



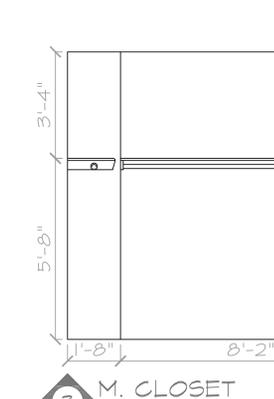
3 M. SHOWER



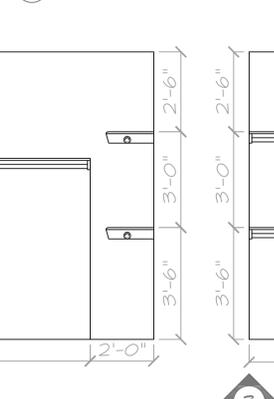
3 MASTER BATH



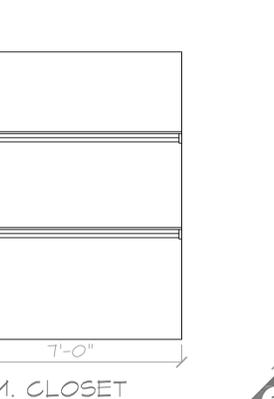
3 M. CLOSET



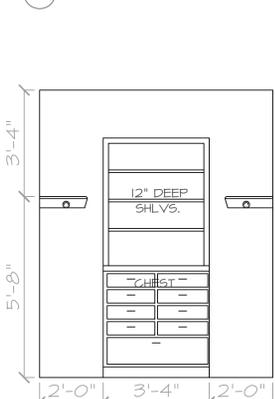
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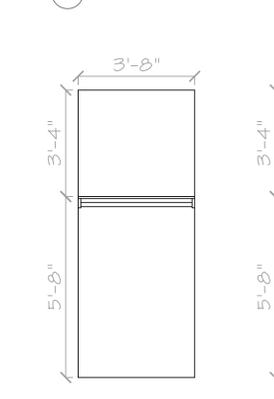
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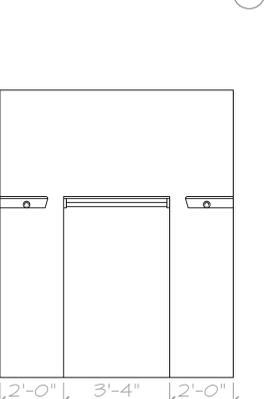
3 UTILITY



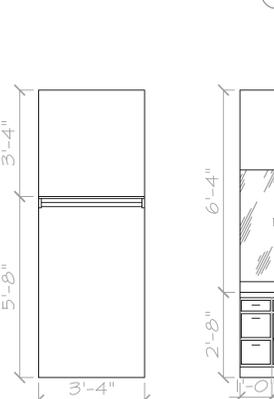
3 CLO. 2



3 CLO. 2



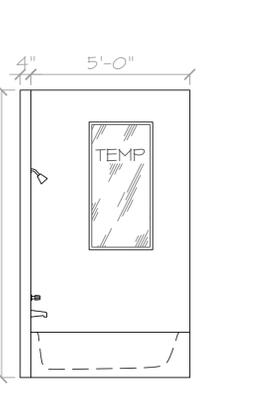
3 CLO. 3



3 CLO. 3



3 BATH 2



3 BATH 2

**INTERIOR ELEVATIONS**

SHEET CONTENTS:  
**INTERIOR  
ELEVATIONS**

1911A Crockett St  
Lot 4, Blk 314  
Shearn Addition  
Houston, Texas 77005  
Harris County

PROJECT NUMBER