

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 19116 Crockett
 Historic District / Landmark First Ward HCAD # _____
 Subdivision Crockett Street Landings Barclay Estates Lot 2 Block 1

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Robert Covington
 Company Covington Custom Builders
 Mailing Address 3419 Mercer St
 Phone 281-850-7414
 Email [REDACTED]
 Signature [Signature]
 Date 1-19-16

APPLICANT (if other than owner)

Name _____
 Company _____
 Mailing Address _____
 Phone _____
 Email _____
 Signature _____
 Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

PROPERTY ADDRESS: 1911 B Craddock

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- NA perspective

WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary
Hardi plank composition Roof

PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties

A CUSTOM RESIDENCE FOR:

CROCKETT STREET TOWNHOMES

DATES ISSUED:
10/6/2015

Covington Builders
3419 Mercer,
Houston, Texas 77027

GENERAL NOTES TO SHEET:

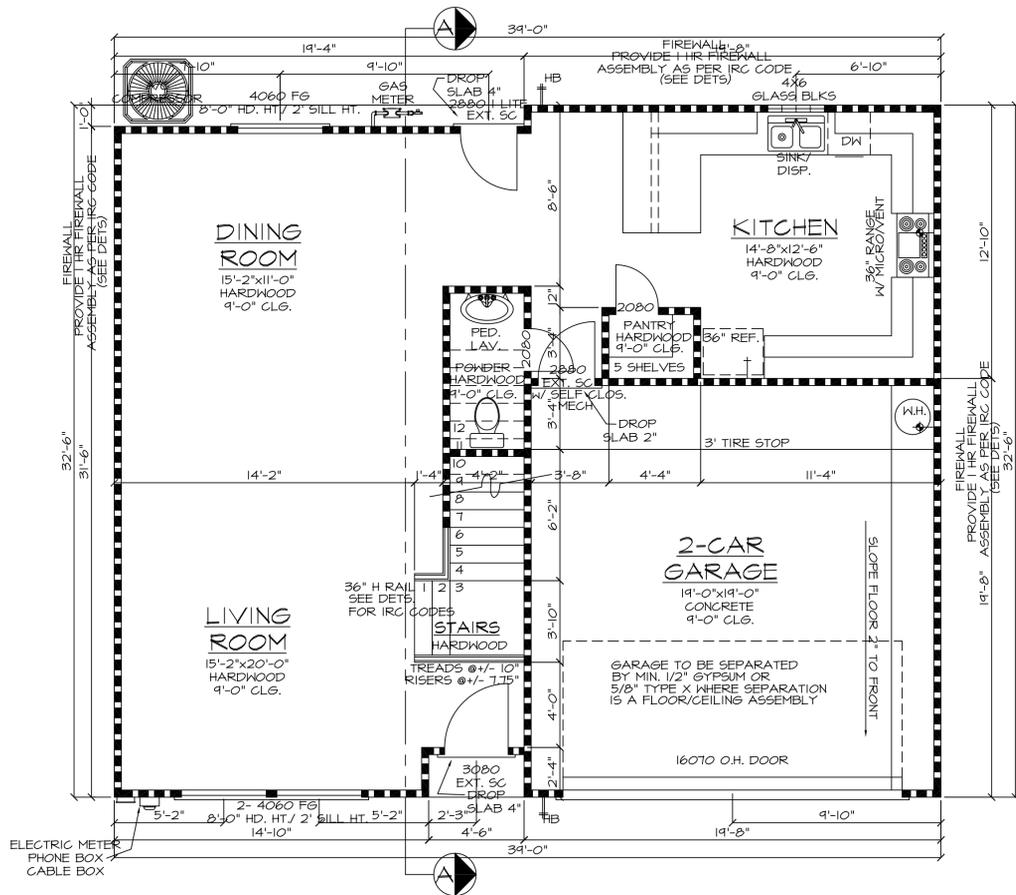
- DRAWINGS ARE NOT TO BE SCALED. KIRKPATRICK DESIGN IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
- ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO FACE OF STUD UNLESS NOTED WITH F.D. ALL F.D. DIMENSIONS ARE FINISHED DIMENSIONS.
- ALL WINDOW DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF WINDOW. VERIFY ROUGH OPENINGS WITH WINDOW DESCRIPTIONS.
- ALL DOOR DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF DOORS. VERIFY ROUGH OPENINGS WITH DOOR DESCRIPTIONS.
- LOCATE HINGE SIDE OF DOOR 4" FROM ADJACENT PARTITION OR CENTERLINE OF SPACE UNLESS OTHERWISE NOTED.
- EXTERIOR WALLS FRAMED 2x4. TYPICAL INTERIOR WALLS FRAMED 2x4 UNLESS NOTED OTHERWISE. VERIFY WITH ARCHITECT'S CONCERNING STAIRS.
- FIRE BLOCKS AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS. BOTH VERTICAL AND HORIZONTAL AND INCLUDING BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE. AND SHALL SUBSIDE INTO ATTIC SPACES. CONCEALED ROOF SPACES AND FLOORING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPPING SHALL BE MAINTAINED.
- VERIFY WITH ARCHITECT'S CONCERNING STAIRS.
- SIZE AND PROVIDE SPLIT SYSTEM CENTRAL A/C TO SUPPLY AIR AND HEAT. USE STANDARD AHRI/IEA DESIGN CRITERIA FOR COUNTY WHERE PROJECT LOCATED.
- VERIFY ALL RETURN AND SUPPLY AIR CHASE SIZES AND LOCATION PRIOR TO CONSTRUCTION.
- ALL FURNACES ARE TO BE LOCATED IN ATTIC.
- SMOKE DETECTORS TO BE INTERCONNECTED AND RECEIVE PRIMARY POWER 110v. FROM THE BUILDING WIRING WITH BATTERY BACKUP.
- RECEPTACLES IN ALL HABITABLE ROOMS MUST BE AT A MINIMUM DISTANCE OF 12" O.C.
- ALL BEDROOM WINDOWS MUST HAVE MAX. 44" SILL HEIGHT WITH NET CLEAR OPENING OF 5.7 SQ.FT.
- WINDOWS MUST HAVE CONTRASTING SOLID WINDOWS WITH A MINIMUM OPENABLE AREA OF 3.0 SQ.FT.
- INSULATION FLAME SPREAD SHOULD BE LESS THAN 25 AND SMOKE DEVELOPMENT NOT TO EXCEED 45.
- GREENBOARD IN WET AREAS AT TUBS AND SHOWERS.
- SAFETY GLASS AS PER I.R.C. SECTION R308.1 AT SHOWER DOORS AND WARDROBES LOCATIONS AS DEFINED IN I.R.C. 308.4.
- CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FT. BUT NOT LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF AS PER SECTION R101.6.
- THE GARAGE IS SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 5" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AS PER I.R.C. SECTION R302.2 AS PER TABLE R703.3. TYPE X GYPSUM BOARD INSTALLED ON CEILING OF GARAGES WHERE THERE IS HABITABLE SPACE ABOVE.
- THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE IS SOLID CORE OR A 20 MINUTE RATED, AND SELF-CLOSING AS PER I.R.C. SECTION R303.1.
- THE ATTIC ACCESS STAIRWAY SHOULD COMPLY WITH SECTION M103.3. ATTIC CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A FULL-DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22" IN WIDTH BETWEEN THE HARDWARE AND A LOAD CAPACITY OF NOT LESS THAN 300 LBS. AN OPENING AND A CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 30" WIDE AND NOT MORE THAN 20" IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTRASTING SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5. NOT LESS THAN 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG THE SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 30" BY 54" WHERE SUCH DIMENSIONS ARE LONG ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.

SHEET CONTENTS:

FLOOR PLANS

1911B Crockett St
Lot 5, Blk 314
Shearn Addition
Houston, Texas 77005
Harris County

PAGE NUMBER:



FIRST FLOOR PLAN

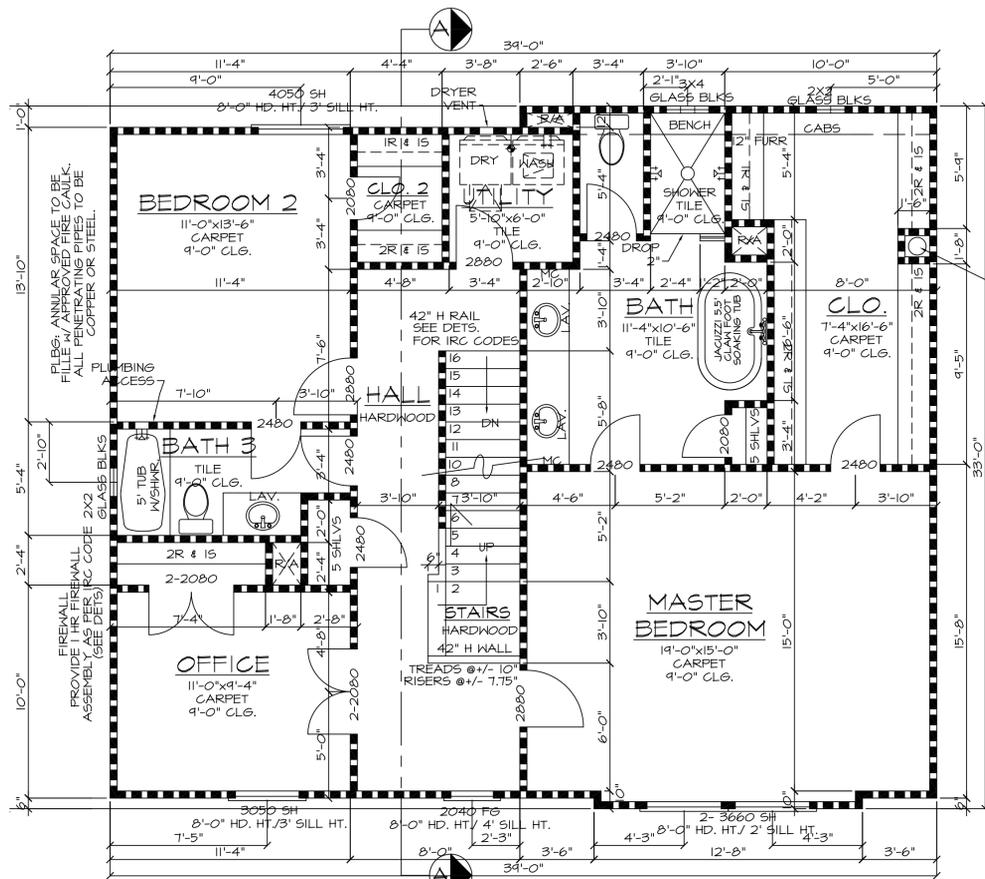
1/4"=1'-0" ALL ANGLES 45° U.O.N.

NOTE: SEE INTERIOR ELEVATIONS FOR MORE DETAILED FRAMING DIMENSIONS

WALL TYPE SCHEDULE:

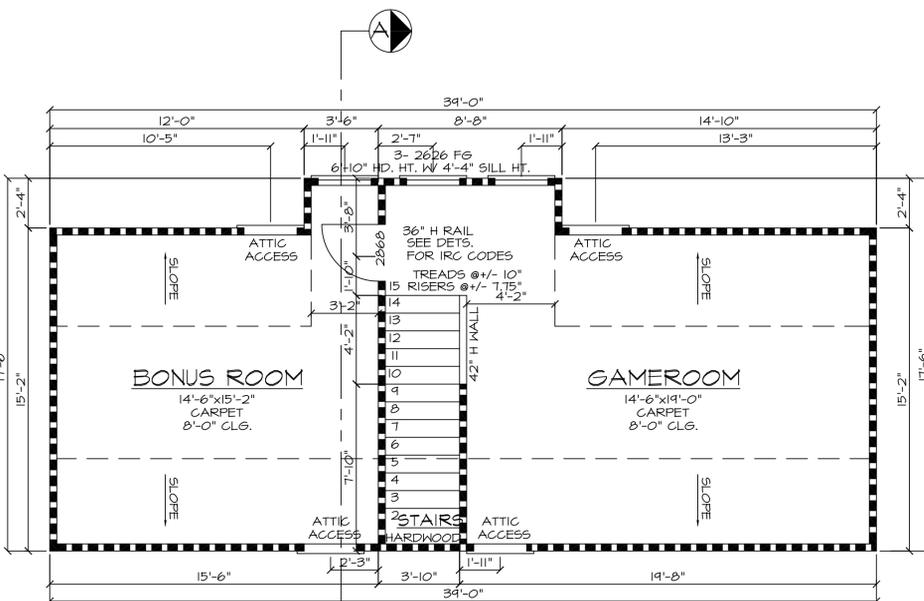
- 2X4 STUDS AT 16" O.C.
- 2X4 STUDS AT 16" O.C. WITH BRICK/STONE LEDGE
- MIN. 2X6 STUDS AT 16" O.C.
- MIN. 2X6 STUDS AT 16" O.C. WITH BRICK/STONE LEDGE

AREA CALCULATIONS	
FIRST FLOOR LIVING:	865 SQ.FT.
SECOND FLOOR LIVING:	1202 SQ.FT.
THIRD FLOOR LIVING:	578 SQ.FT.
TOTAL LIVING AREA:	2645 SQ.FT.
4-CAR GARAGE (W/STORAGE):	374 SQ.FT.
FRONT PORCH:	9 SQ.FT.
TOTAL COVERED AREA:	3028 SQ.FT.



SECOND FLOOR PLAN

1/4"=1'-0" ALL ANGLES 45° U.O.N.



THIRD FLOOR PLAN

1/4"=1'-0" ALL ANGLES 45° U.O.N.

- WINDOW ABBREVIATIONS:
- SH = SINGLE-HUNG
 - DH = DOUBLE-HUNG
 - HS = HORIZONTAL SLIDER
 - CSMT = CASEMENT
 - DL = DIVIDED LIGHT
 - FG = FIXED GLASS
 - AT = ARCH TOP
 - RT = ROUND TOP
 - HD, HT. = HEADER HEIGHT

FLOOR PLAN NOTES:

- ALL WINDOW HEADER HEIGHTS MEASURED FROM FINISHED FLOOR IMMEDIATELY INSIDE WINDOW.
- ALL CEILING HTS. MEASURED FROM THE FINISHED FLOOR IN THE ROOM BEING CALLED OUT (GARAGE CEILING HTS. MEASURED FROM THE WHEEL STOP ELEVATION).
- PROVIDE 5/8" TYPE "X" GYPSUM WALLBOARD ON ALL WALLS AND CEILING IN GARAGE AND IN ANY USABLE SPACE UNDER STAIRS IN ACCORDANCE WITH 2006 I.R.C. SECTION 314.8.
- STAIRWAYS SHALL COMPLY WITH 2006 I.R.C. SECTION R314. MINIMUM WIDTH BETWEEN HAND RAILS SHALL BE 36" WITH EXCEPTION OF SPIRAL STAIRS. SPIRAL STAIRS SHALL COMPLY WITH 2006 I.R.C. SECTION 314.5.
- HANDRAILS SHALL BE 34" TO 38" ABOVE THE NOSE OF STAIR TREADS AS PER 2006 I.R.C. SECTION R315.
- ALL GUARDRAILS SHALL BE 36" AFF (MIN) WITH BALLUSTERS SPACED IN ACCORDANCE WITH 2006 I.R.C. SECTION R316.
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH 2006 I.R.C. SECTIONS R315 AND R316.
- HANDGRIPPING PORTION OF ALL HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION NOT LESS THAN 1 1/2" AND NOT MORE THAN 2 3/8" OR THE SHAPE SHALL PROVIDE EQUIVALENT GRIPPING SURFACE IN ACCORDANCE WITH 2006 I.R.C. SECTION 315.2.
- PROVIDE 1 3/4" MIN. SOLID WOOD OR 20-MINUTE FIRE-RATED SELF-CLOSING DOOR BETWEEN GARAGE AND RESIDENCE IN ACCORDANCE WITH 2006 I.R.C. SECTION 301.1.
- SMOKE DETECTORS REQUIRE I/OV CONNECTION TO HOUSE WIRING WITH BATTERY BACKUP. LOCATIONS SHALL COMPLY WITH 2006 I.R.C. SECTION R317.
- ALL BEDROOM WINDOWS SHALL BE 44" AFF (MAX.) WITH 24" HIGH (MIN) X 20" WIDE (MIN) OPENINGS AND 5.7 SQ.FT. (MIN) NET CLEAR OPENING AS PER 2006 I.R.C. SECTION R310.
- LOCATE GAS WATER HEATER AS INDICATED ON THE FLOOR PLANS IN PAN WITH RELIEF DRAIN LINE TO EXTERIOR. INSTALLATION MUST COMPLY WITH 2006 I.R.C. SECTION M200.5.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THRU NATURAL OR MECHANICAL MEANS IN ACCORDANCE WITH 2006 I.R.C. SECTION 303.5.
- ALL MASONRY AND PREFAB FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH 2006 I.R.C. CHAPTER 10. A COPY OF THE MANUFACTURER'S INSTALLATION MANUAL SHALL BE AVAILABLE AT THE JOBSITE FOR INSPECTOR'S REVIEW.
- USE 1 3/8" MASONITE SOLID-CORE 3 PANEL DOORS AT INTERIOR U.O.N.
- USE 1 3/4" SOLID-CORE DOORS AT EXTERIOR (REFER TO ELEVATIONS FOR STYLE).
- FINAL LOCATION OF A/C COMPRESSORS, ELECTRIC METER, GAS METER, PHONE, CABLE, ETC., MAY VARY DUE TO FIELD CONDITIONS.
- SHOWER STALLS AND TUB WALLS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR AS PER 2006 I.R.C. SECTION 307.2.
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH 2006 I.R.C. 308.4. REFER TO FLOOR PLANS FOR SAFETY GLASS LOCATIONS.
- LOCATE ALL SHOWER HEADS AT 18" AFF TYP.
- TONNAGE FOR A/C UNITS SHOWN IS FOR ESTIMATING PURPOSES ONLY; THE HVAC CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE PERFORMANCE OF THE HVAC SYSTEMS INSTALLED.
- THREE-STORY STRUCTURES SHALL UTILIZE 5/8" TYPE "X" SHEETROCK THROUGHOUT.
- ALL BREEZENAY'S SHALL BE FIRESTOPPED AS PER 2006 I.R.C. SECTION 301.1.
- VERIFY FLOOR PLUG LOCATIONS WITH OWNER PRIOR TO SLAB INSTALLATION.

GENERAL NOTES TO SHEET:

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2. ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO FACE OF STUD UNLESS NOTED WITH F.D. ALL F.D. DIMENSIONS OF FINISHED INTERIORS.
3. ALL WINDOW DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF WINDOW VERSUS ROUGH OPENINGS WITH WINDOW DESCRIPTIONS.
4. ALL DOOR DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF DOORS. VERIFY ROUGH OPENINGS WITH DOOR DESCRIPTIONS.
5. LOCATE HINGE SIDE OF DOOR 4" FROM ADJACENT PARTITION OR CENTERED IN SPACE UNLESS OTHERWISE NOTED.
6. EXTERIOR WALLS FRAMED 2X4. TYPICAL INTERIOR WALLS FRAMED 2X4 UNLESS NOTED OTHERWISE. BUILDER WILL SPECIFY ON-CENTER LOCATIONS.
7. FIRE BLOCKS AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBSIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOORCEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.
8. SUPPLY 6" WITH OVERFLOW PANEL.
9. SIZE AND PROVIDE SPLIT SYSTEM CENTRAL A/C TO SUPPLY AIR AND HEAT. USE STANDARD ASHRAE DESIGN CRITERIA FOR COUNTY WHERE PROJECT LOCATED.
10. VERIFY ALL RETURN AND SUPPLY AIR CHASE SIZES AND LOCATION PRIOR TO CONSTRUCTION.
11. ALL FINANCES ARE TO BE LOCATED IN ATTIC.
12. SMOKE DETECTORS TO BE INTERCONNECTED AND RECEIVE PRIMARY POWER 110v FROM BUILDING WIRING WITH BATTERY BACKUP.
13. RECEPTACLES IN ALL HABITABLE ROOMS MUST BE AT A MINIMUM DISTANCE OF 120" O.C.
14. ALL BEDROOM WINDOWS MUST HAVE MAX. 44" SILL HEIGHT WITH NET CLEAR OPENING OF 5.7 SQ.FT.
15. ALL BATHROOMS MUST HAVE EXHAUST FANS OR WINDOWS WITH A MINIMUM OPENING AREA OF 3.0 SQ.FT.
16. INSULATION FLAME SPREAD SHOULD BE LESS THAN 25 AND SMOKE DENSITY NOT TO EXCEED 450.
17. GREENBOARD IN WET AREAS AT TUBS AND SHOWERS.
18. SAFETY GLASS AS PER I.R.C. SECTION R308.1 AT SHOWER DOORS AND HAZARDOUS LOCATIONS AS DEFINED IN I.C. 308.4.
19. CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FT. BUT NOT LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF AS PER SECTION R 100.1.
20. THE GARAGE IS SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AS PER I.R.C. SECTION R302.2 AS PER TABLE R302.1. TYPE X GYPSUM BOARD INSTALLED ON CEILING OF GARAGES WHERE THERE IS HABITABLE SPACE ABOVE.
21. THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE IS SOLID CORE OR 1 3/4" MINIMUM RATED, AND SELF CLOSING AS PER I.R.C. SECTION R302.1.
22. THE ATTIC ACCESS STAIRWAY SHALL BE PROVIDED WITH SECTION M1005.1.3. ATTIC ACCESS CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A PULL-DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22" IN WIDTH BETWEEN THE HARDWARE AND A LOAD CAPACITY OF NOT LESS THAN 300 LBS. AN OPENING AND A CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 30" WIDE AND NOT MORE THAN 6" IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 10. NOT LESS THAN 24" WIDE. A LEVEL SERVICE SPACE AT LEAST 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG THE SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 30" BY 54" WHERE SUCH DIMENSIONS ARE LONG ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.

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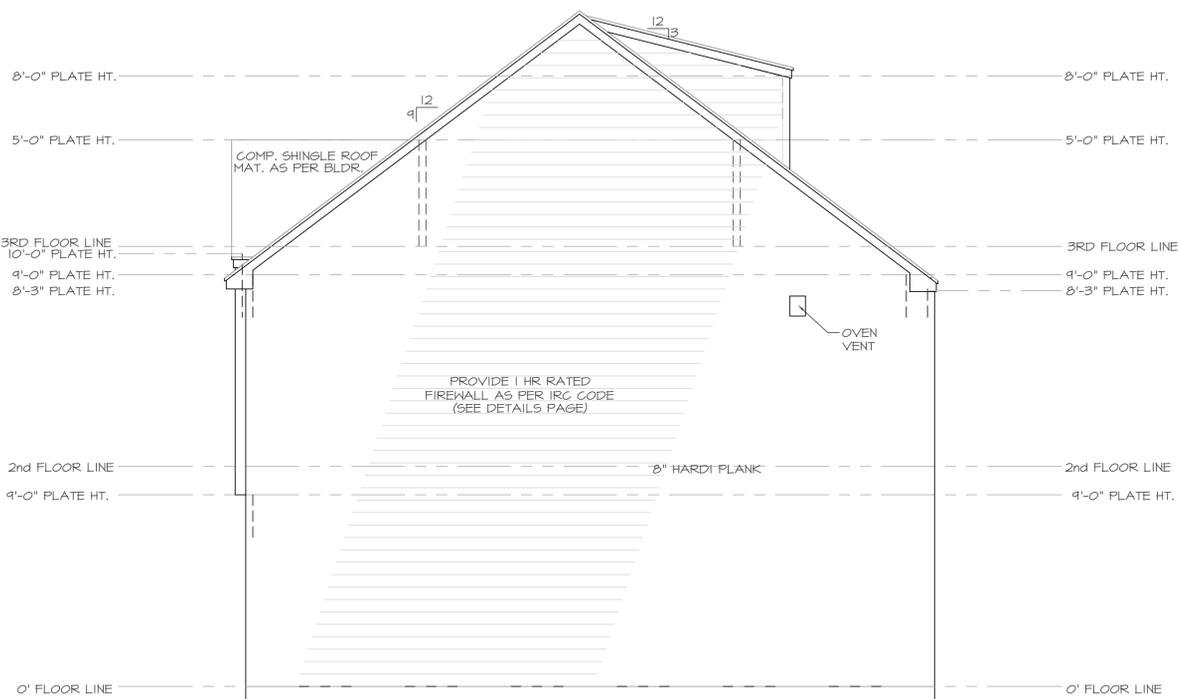
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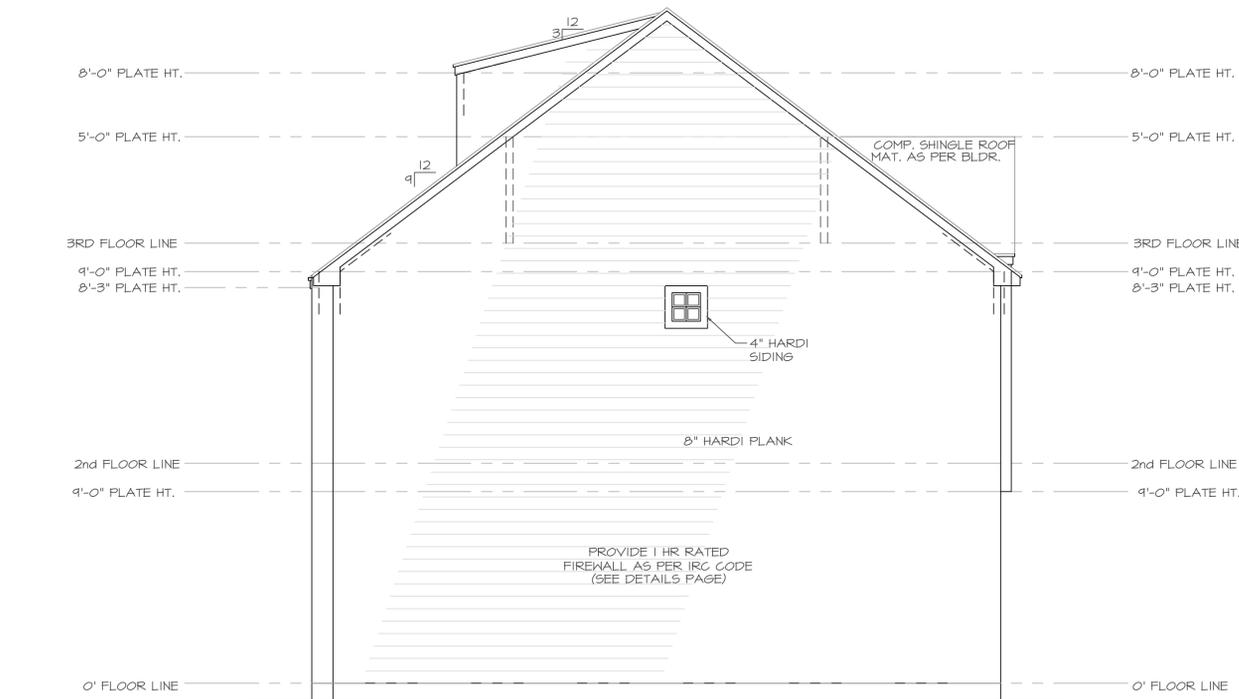
FRONT ELEVATION

1/4"=1'-0"



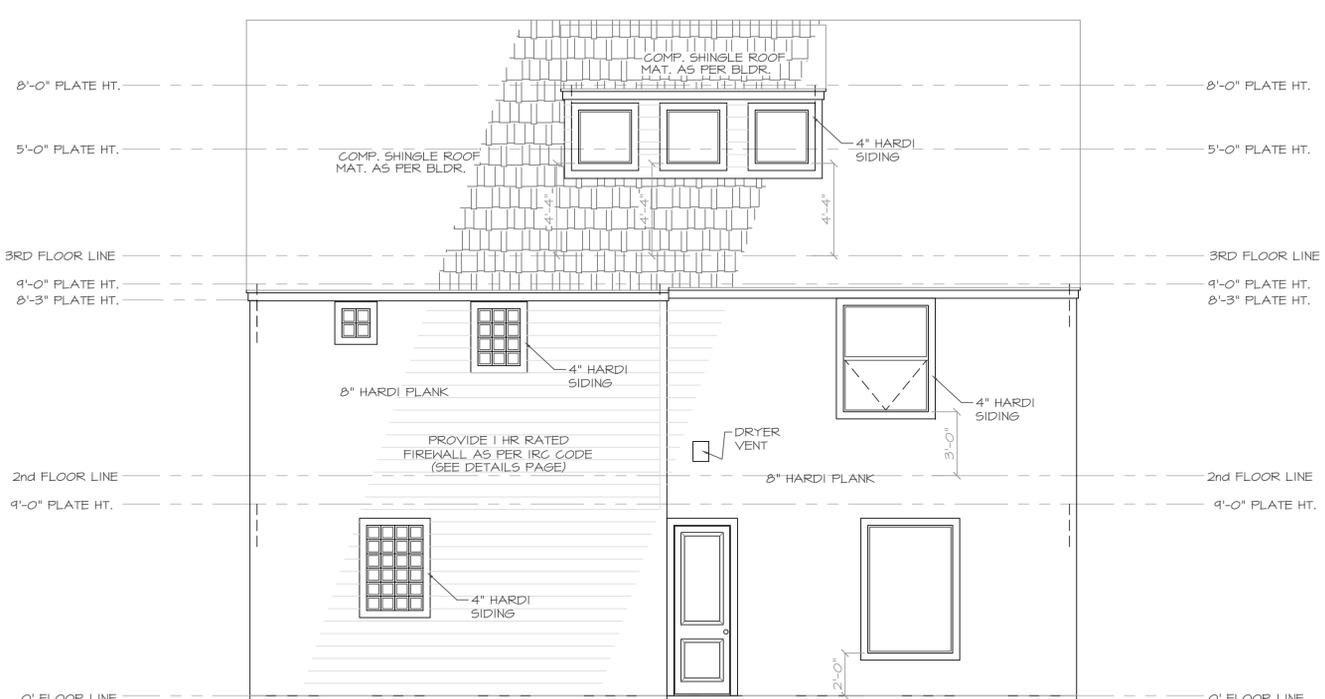
RIGHT ELEVATION

1/4"=1'-0"



LEFT ELEVATION

1/4"=1'-0"

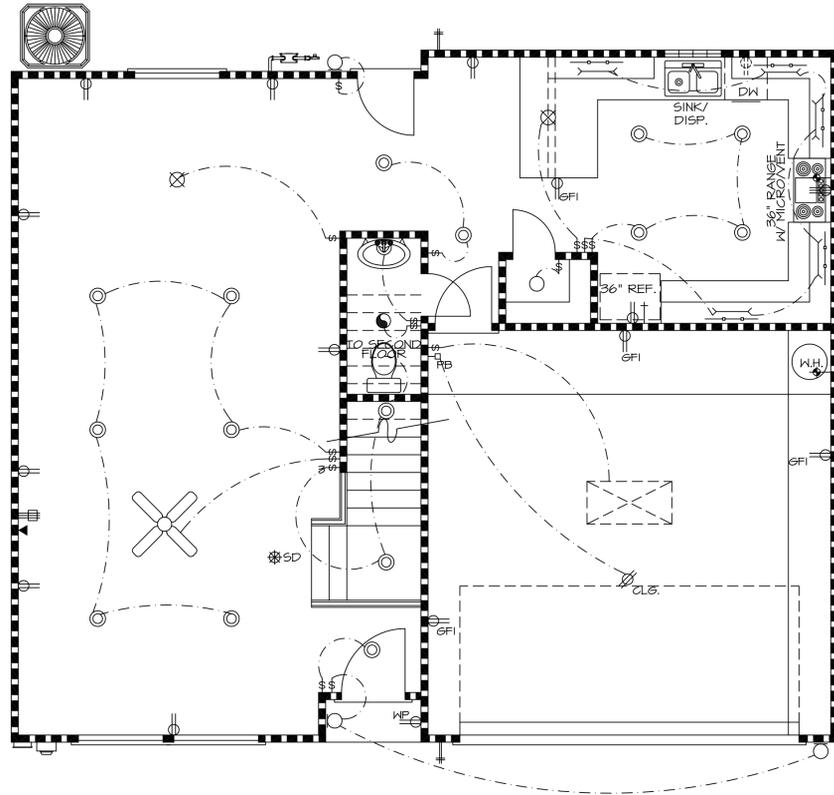


REAR ELEVATION

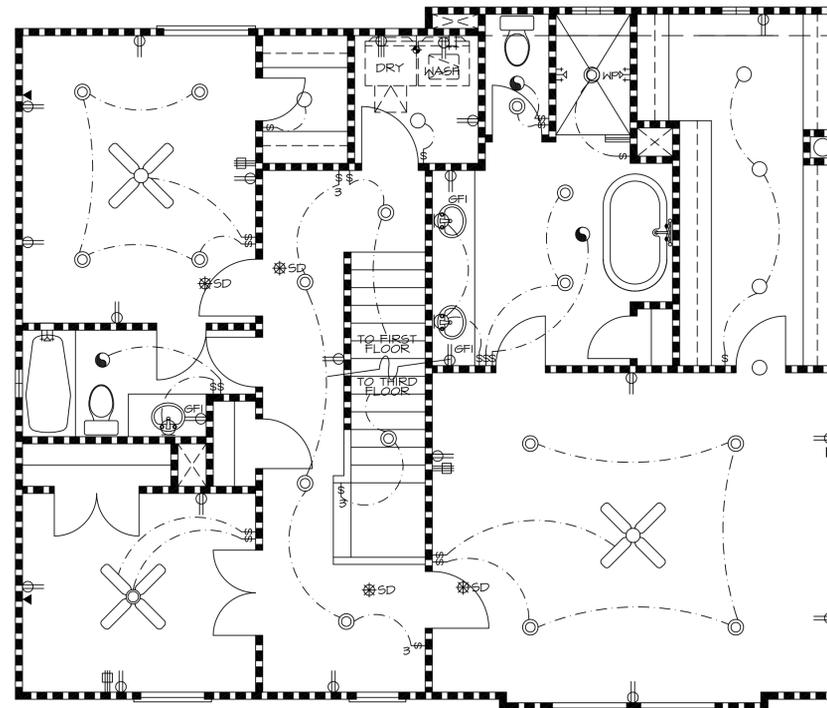
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7. FIRE BLOCKS AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL AND FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBSCRIBE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR/CILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.
8. SUPPLY 6" MIN CROWN MOULDING.
9. SIZE AND PROVIDE SPLIT SYSTEM CENTRAL A/C TO SUPPLY AIR AND HEAT. USE STANDARD ASHRAE DESIGN CRITERIA FOR COUNTY WHERE PROJECT LOCATED.
10. VERIFY ALL RETURN AND SUPPLY AIR CHASE SIZES AND LOCATION PRIOR TO CONSTRUCTION.
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9. THE GARAGE IS SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 5" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AS PER I.R.C. SECTION R309.2 AS PER TABLE R309.2.5. TYPE X GYPSUM BOARD INSTALLED ON CEILING OF GARAGES WHERE THERE IS HABITABLE SPACE ABOVE.
10. THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE IS SOLID CORE OR A 20 MINUTE RATED, AND SELF CLOSING AS PER I.R.C. SECTION R309.1.
11. THE ATTIC ACCESS STAIRWAY SHALL COMPLY WITH SECTION M1203.1.3. ATTICS CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A FULL-DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 20" IN WIDTH BETWEEN THE HARDWARE AND A LOAD CAPACITY OF NOT LESS THAN 350 LBS. AN OPENING AND CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 30" WIDE AND NOT MORE THAN 20" IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 6. NOT LESS THAN 24" WIDE. A LEVEL SERVICE SPACE AT LEAST 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG THE SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 30" BY 54" WHERE SUCH DIMENSIONS ARE LONG ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.

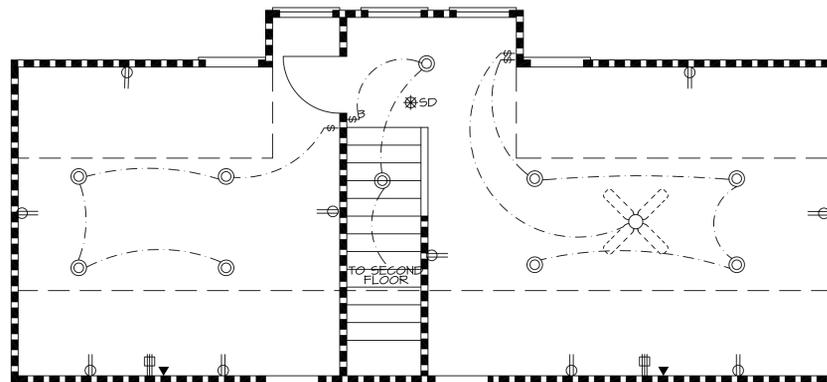


FIRST FLOOR ELECTRICAL PLAN



SECOND FLOOR ELECTRICAL PLAN

1/4"=1'-0"



THIRD FLOOR ELECTRICAL PLAN

1/4"=1'-0"

ELECTRICAL LEGEND

- ⊕ 110 VOLT RECEPTACLE
- ⊕ WP WATERPROOF RECEPTACLE
- ⊕ CLG. 110 VOLT IN CEILING
- ⊕ MNTL. 110 VOLT AT FIREPLACE MANTLE
- ⊕ GFI 110 VOLT W/GROUND FAULT INTERRUPT
- ⊕ FLR. 110 VOLT IN FLOOR
- ⊕ 110 VOLT "PLUS MOLD"
- ⊕ 220 VOLT RECEPTACLE
- ⊕ TELEVISION ANTENNA/CABLE JACK
- ⊕ TELEPHONE JACK
- ⊕ \$ SINGLE POLE SWITCH
- ⊕ \$ 3 3-WAY SWITCH
- ⊕ \$ 4 4-WAY SWITCH
- ⊕ DIM DIMMER SWITCH
- ⊕ FB PUSH BUTTON
- ⊕ SD SMOKE DETECTOR INTERCONNECTED AND HARD-WIRED W/BATTERY BACKUP
- ⊕ THERMOSTAT
- ⊕ CHIMES
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ HANGING LIGHT
- ⊕ LAMP POST
- ⊕ RECESSED CAN LIGHT
- ⊕ WP WATERPROOF RECESSED CAN LIGHT
- ⊕ RECESSED EYEBALL SPOT LIGHT
- ⊕ MONO-POINT OR DIRECTIONAL LT.
- ⊕ STEP LIGHT
- ⊕ WALL WASHER OR LOW VOLTAGE LT.
- ⊕ SCORCE OR WALL MOUNTED FIXTURE
- ⊕ PC PORCELAIN FIXTURE W/ PULL CORD
- ⊕ FLOOD LIGHTS
- ⊕ EXHAUST FAN
- ⊕ LT EXHAUST FAN W/ LIGHT
- ⊕ EXHAUST FAN W/ HEAT LAMP
- ⊕ LT EXHAUST FAN W/ HEAT LAMP & LIGHT
- ⊕ CEILING FAN
- ⊕ CEILING FAN W/ LIGHT
- ⊕ CEILING LIGHT W/ FUTURE FAN
- ⊕ 2' x 2' FLUORESCENT LIGHT
- ⊕ 1' x 4' FLUORESCENT LIGHT
- ⊕ 2' x 4' FLUORESCENT LIGHT
- ⊕ UNDER-COUNTER LIGHT
- ⊕ OVER-COUNTER LIGHT
- ⊕ TRACK LIGHTING

ELECTRICAL NOTES:

1. NO WIRING SMALLER THAN 12 AWG.
2. VERIFY FLOOR PLUS LOCATIONS WITH OWNER PRIOR TO SLAB INSTALLATION.
3. ALL WIRING MUST BE COPPER WITH EXCEPTION OF UNDERGROUND TO MAIN BOX AND FROM MAIN BOX TO BREAKERS, WHICH SHALL BE CODE-APPROVED ALUMINUM.
4. ALL LIGHT SWITCHES SHALL BE MOUNTED AT 36" AFF.
5. USE LEVITON "DECORA" ROCKER SWITCHES AT ALL STANDARD LIGHT AND APPLIANCE SWITCHES.
6. USE LUTRON "SKYLARK" SLIDING CONTROL AT ALL DIMMER (RHEOSTA) LIGHT SWITCHES.
7. ALL SMOKE DETECTORS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH 2009 I.R.C. SECTION R311 AND SHALL CONFORM TO THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.
7. PROVIDE ELECTRIC SERVICE FOR POOL EQUIPMENT, LANDSCAPE LIGHTING, FRONT ELEVATION LIGHTING, MOTOR COURT LIGHTING, ETC. ACCORDING TO BUILDER'S INSTRUCTIONS. USE TIMERS AS APPROPRIATE AND LOCATE CONTROL FOR ALL SUCH ITEMS FROM GARAGE OR FROM ANOTHER LOCATION AS SPECIFIED BY THE BUILDER.
8. INSTALL 110V PLUGS MOUNTED HORIZONTALLY IN THE BASE BOARD WHERE BASE BOARDS ARE 1x8 IN SIZE OR GREATER.

SHEET CONTENTS:

ELECTRICALS

1911B Crockett St
Lot 5, Blk 314
Shearn Addition
Houston, Texas 77005
Harris County

PAGE NUMBER:

A CUSTOM RESIDENCE FOR:

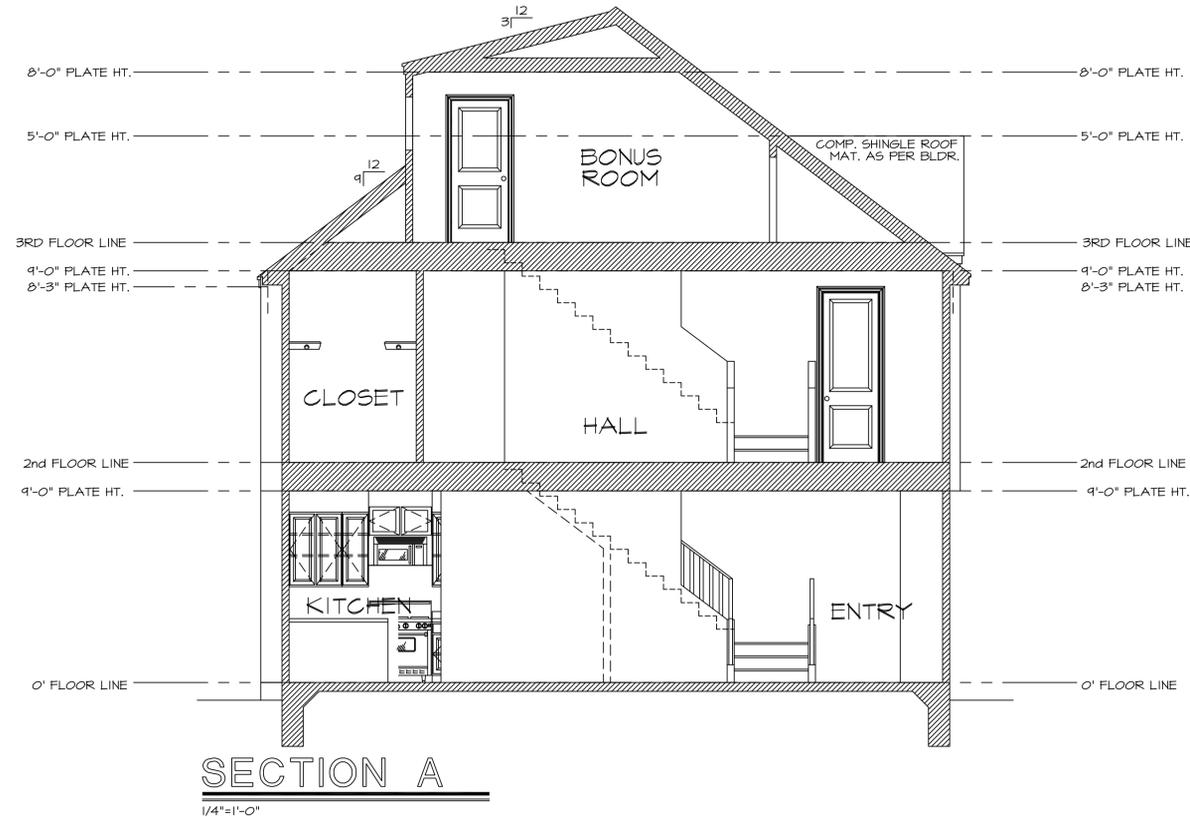
CROCKETT STREET TOWNHOMES

DATES ISSUED:
10/6/2015

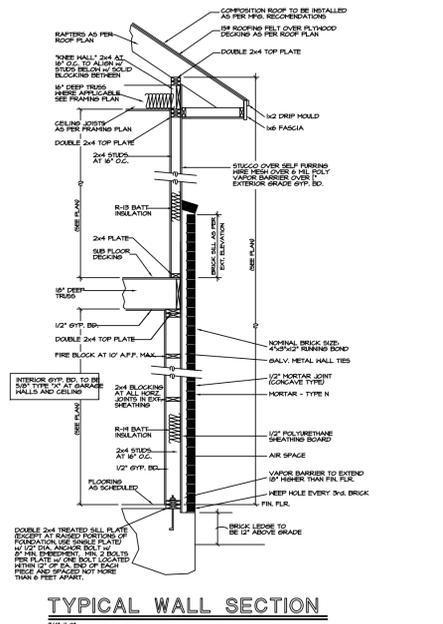
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3419 Mercer,
Houston, Texas 77027

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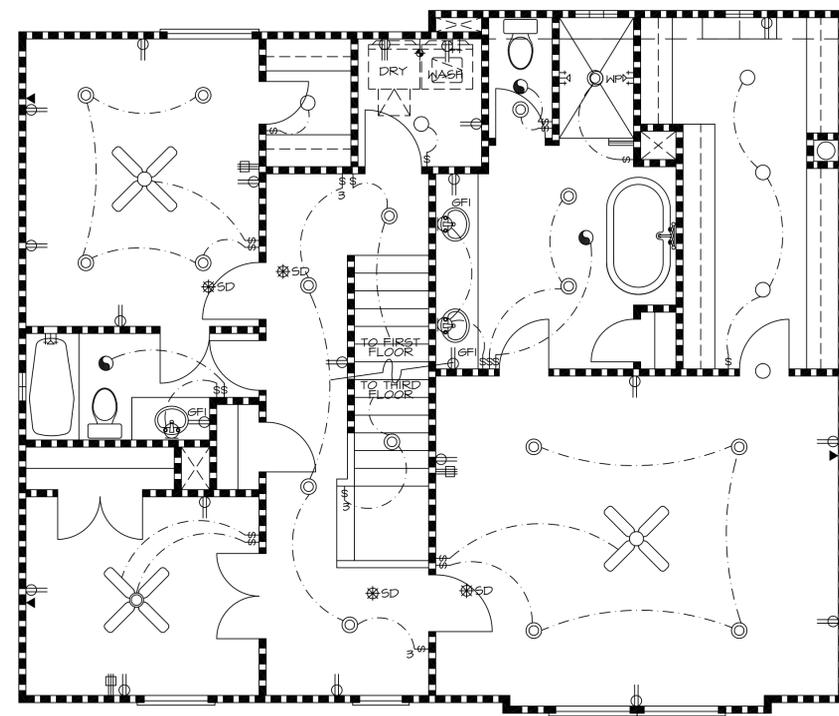
- DRAWINGS ARE NOT TO BE SCALED. KIRKPATRICK DESIGN IS TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
- ALL PLAN DIMENSIONS ARE TYPICALLY TAKEN TO FACE OF STUD UNLESS NOTED WITH "D." ALL V.D. DIMENSIONS ARE FINISHED DIMENSIONS.
- ALL WINDOW DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF WINDOW. VERIFY ROUGH OPENINGS WITH WINDOW DESCRIPTIONS.
- ALL DOOR DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF DOORS. VERIFY ROUGH OPENINGS WITH DOOR DESCRIPTIONS.
- LOCATE HINGE SIDE OF DOOR 4" FROM ADJACENT PARTITION CENTERED IN SPACE UNLESS OTHERWISE NOTED.
- EXTERIOR WALLS FRAMED 2x4. TYPICAL INTERIOR WALLS FRAMED 2x4 UNLESS NOTED OTHERWISE. BUILDER WILL SPECIFY ON-CENTER LOCATIONS.
- FIRE BLOCKS AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL AND FLOOR TO FLOOR. VERIFY ALL ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR/CEILING ASSEMBLIES. THE INTENSITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.
- SUPPLY 6" MIN OVERFLOW PAN.
- SIZE AND PROVIDE SPLIT SYSTEM CENTRAL AC TO SUPPLY AIR AND HEAT. USE STANDARD GEORGIA DESIGN CRITERIA FOR COUNTY WHERE PROJECT LOCATED.
- VERIFY ALL RETURN AND SUPPLY AIR CHASE SIZES AND LOCATION PRIOR TO CONSTRUCTION.
- ALL FURNACES ARE TO BE LOCATED IN ATTIC.
- SMOKE DETECTORS TO BE INTERCONNECTED AND RECEIVE PRIMARY POWER 110v. FROM THE BUILDING WIRING WITH BATTERY BACKUP.
- RECEPTACLES IN ALL HABITABLE ROOMS MUST BE AT A MINIMUM DISTANCE OF 12" O.C.
- ALL BEDROOM WINDOWS MUST HAVE MAX. 4" SILL HEIGHT WITH NET CLEAR OPENING OF 5.7 SQ. FT.
- BATHROOMS MUST HAVE EXHAUST FANS OR WINDOWS WITH A MINIMUM OPENABLE AREA OF 3.0 SQ. FT.
- INSULATION FLAME SPREAD SHOULD BE LESS THAN 25 AND SMOKE DENSITY MET TO EXCEED 400.
- GREENBOARD IN WET AREAS AT TUBS AND SHOWERS.
- SAFETY GLASS AS PER I.R.C. SECTION R608.1 AT SHOWER DOORS AND HAZARDOUS LOCATIONS AS DEFINED IN I.R.C. 308.4.
- CHIMNEY SHALL EXTEND AT LEAST 3 FT. HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FT. BUT NOT LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF AS PER SECTION R 100.6.
- THE GARAGE IS SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AS PER I.R.C. SECTION R308.2 AS PER TABLE R702.3.5. TYPE X GYPSUM BOARD INSTALLED ON CEILING OF GARAGE WHERE THERE IS HABITABLE SPACE ABOVE.
- THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE IS SOLID CORE OR A 20 MINUTE RATED, AND SELF-CLOSING AS PER I.R.C. SECTION R308.1.
- THE ATTIC ACCESS STAIRWAY SHALL COMPLY WITH SECTION W103.3.1. ATTIC CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A FULLEXTEND STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22" IN WIDTH BETWEEN THE HARDWARE AND A LOAD CAPACITY OF NOT LESS THAN 350 LBS. AN OPENING AND A CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 30" WIDE AND NOT MORE THAN 20" IN LENGTH WHEN MEASURED ALONG THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTIGUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 6. NOT LESS THAN 2" WIDE. LEVELS, SPICES SPACE AT LEAST 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG THE SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 30" BY 30" WHERE SUCH DIMENSIONS ARE LONG ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.



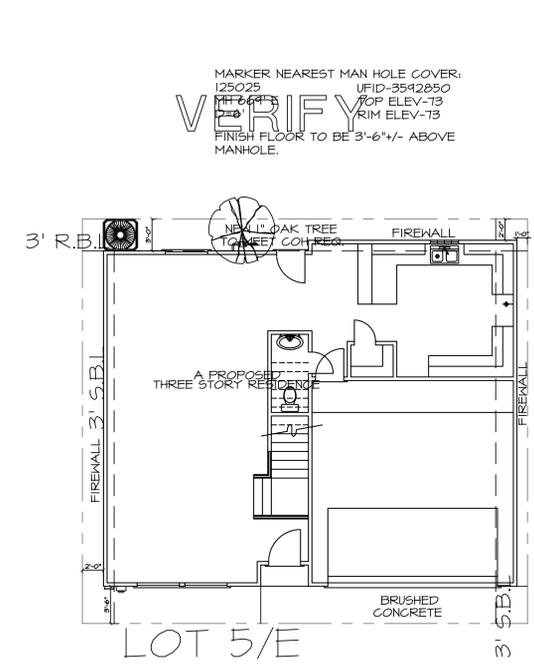
SECTION A
1/4" = 1'-0"



- UL RATED 1 HOUR FIREWALL ASSEMBLY # U344**
- 2X4 (NOMINAL) STUD WALL SPACED 16" O.C
 - 5/8" GYPSUM BOARD
 - JOINTS AND NAILHEADS (NOT SHOWN)
 - BATT OR SPRAYED INSULATION
 - WOOD STRUCTURAL PANEL SHEATHING
 - EXTERIOR FACING



SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



SITE PLAN
1/8" = 1'-0"

- SITE NOTES:**
- ALL DRAWINGS PERSENTED HERE REFERENCE THE IRC 2006 BUILDING CODES W/CITY OF HOUSTON AMENDMENTS.
 - FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE COVER. QUALIFIED ENGINEER SHALL DETERMINE FINAL SLAB ELEVATION, AND PROVIDE A SITE GRADING PLAN AS PER LOCAL AUTHORITY.
 - ELEVATION OF THE NEAREST SANITARY SEWER MANHOLE COVER IS ASSUMED TO BE 100.0' CURB ELEVATION (AS REFERENCED) TAKEN FROM TOP OF THE CURB.
 - BUILDER SHALL APPROVE LOCATION OF HOUSE ON LOT AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING, BLOCK FACE AND SETBACK LINE PRIOR TO CONSTRUCTION.
 - PLUMBER SHALL DETERMINE LOCATION OF WATER METER AND CONTACT THE LOCAL AUTHORITY TO CONNECT. WATER PIPE TO BE SCH. 40 P.V.C. 90R EQUAL.
 - PLUMBER SHALL CONNECT INTO EXISTING SANITARY SEWER. PIPING TO BE SCH 40 P.V.C. (OR EQUAL).
 - ELECTRICIAN TO RUN THREE UNDERGROUND CONDUITS FROM SOURCE POLE OR TRANSFORMER TO LOCATION SPECIFIED BY CONTRACTOR FOR:
A. ELECTRICAL SERVICE
B. TELEPHONE SERVICE
C. CABLE SERVICE (AT THE SAME LOCATION)
 - ALL DRAINAGE AND RUNOFFS SHALL BE COLLECTED ON SITE TO AN UNDERGROUND SYSTEM OR DIRECTED ON THE SURFACE TO THE STREET. DRAINAGE AND RUNOFF ARE NOT ALLOWED TO BE DIRECTED ONTO ADJACENT PROPERTIES. DRAIN PIPING SHALL BE SCH.40 P.V.C. (OR EQUAL)
 - PROVIDE ONE QUALIFIED TREE PER 5000 SQ. FT. OF LOT SIZE.

NOTE:
BUILD CURB TO MATCH EXISTING
ADD GRASS TO MATCH EXISTING
SIDEWALK-IF EXISTING IS FLAT
WILL USE, IF NOT WILL MATCH
EXISTING WIDTH OF ADJACENT.

PROPOSED LOT 2B SIZE:	1596 SQ.FT.	
NEW RESIDENCE:	1248 SQ.FT.	78.0%
DRIVEWAY/WALK:	88 SQ.FT.	5.5%
TOTAL LOT COVERAGE:	1336 SQ.FT.	83.7%

FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE, OR WHERE NO SEWER IS AVAILABLE, A MINIMUM OF 4 INCHES ABOVE THE CROWN OF THE STREET AS REQUIRED BY CITY OF HOUSTON BUILDING CODE.

BARCLAY ESTATES
BLOCK 1/LOT 6
HOUSTON/HARRIS CO. TX/77007

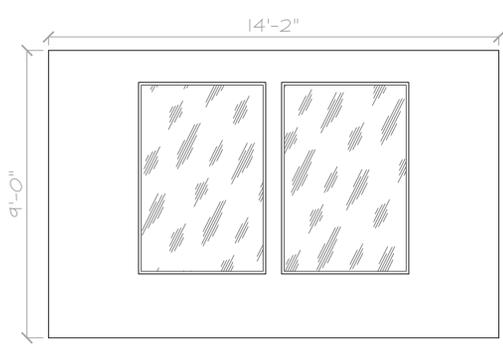
SHEET CONTENTS:
ROOF PLAN
PLOT PLAN
SECTION

1911B Crockett St
Lot 5, Blk 314
Shearn Addition
Houston, Texas 77005
Harris County

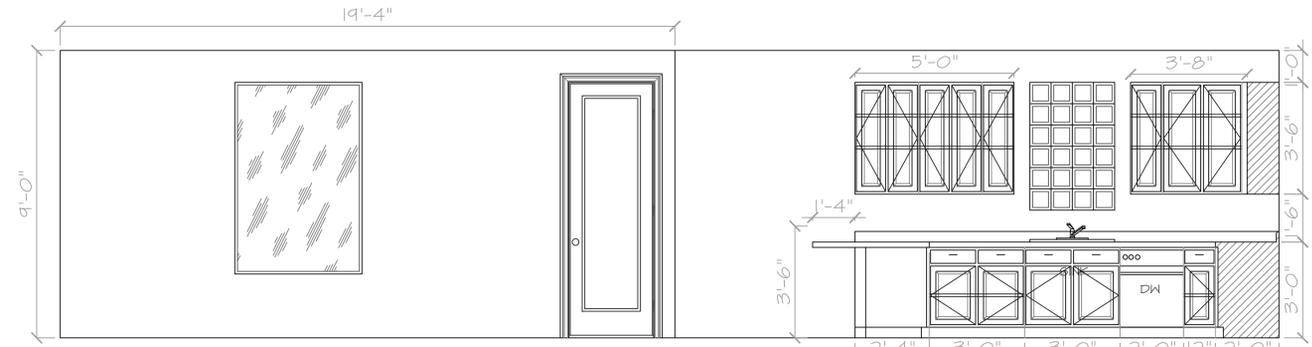
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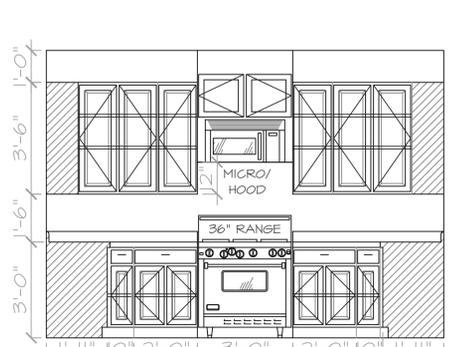
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4. ALL DOOR DIMENSIONS ARE TYPICALLY TAKEN TO THE CENTERLINE OF DOORS. VERIFY ROUGH OPENINGS WITH DOOR DESCRIPTIONS.
5. LOCATE HINGE SIDE OF DOOR 4" FROM ADJACENT PARTITION OR CENTERED IN SPACE UNLESS OTHERWISE NOTED.
6. EXTERIOR WALLS FRAMED 2x4. TYPICAL INTERIOR WALLS FRAMED 2x4 UNLESS NOTED OTHERWISE. BUILDER WILL SPECIFY ON-CENTER LOCATIONS.
7. FIRE BLOCKS AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL AND FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE AND SHALL SUBDIVIDE ATTIC SPACES. CONCEALED ROOF SPACES AND FLOOR/CEILING ASSEMBLIES, THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.
8. SUPPLY 6" WITH OVERLAP PANS.
9. SIZE AND PROMOTE SPLIT SYSTEM CENTRAL A/C TO SUPPLY AIR AND HEAT. USE STANDARD ASHRAE DESIGN CRITERIA FOR COUNTY WHERE PROJECT LOCATED.
10. VERIFY ALL RETURN AND SUPPLY AIR CHASE SIZES AND LOCATION PRIOR TO CONSTRUCTION.
11. ALL FURNACES ARE TO BE LOCATED IN ATTIC.
1. SMOKE DETECTORS TO BE INTERCONNECTED AND RECEIVE PRIMARY POWER 110V, FROM THE BUILDING WIRING WITH BATTERY BACKUP.
2. RECEPTACLES IN ALL HABITABLE ROOMS MUST BE AT A MINIMUM DISTANCE OF 3" FROM THE WALL.
3. ALL BEDROOM WINDOWS MUST HAVE MAX. 44" SILL HEIGHT WITH NET CLEAR HEIGHT OF 7' 0" MIN.
4. BATHROOMS MUST HAVE EXHAUST FANS OR WINDOWS WITH A MINIMUM OPERABLE AREA OF 3.0 SQ. FT.
5. INSULATION/FLAME SPREAD SHOULD BE LESS THAN 22 AND SMOKE DENSITY NOT EXCEED 450.
6. GREENBOARD IN WET AREAS AT TUBS AND SHOWERS.
7. SAFETY GLASS AS PER I.R.C. SECTION R0501.1 AT SHOWER DOORS AND HORIZONTAL GLAZING AS DEFINED IN I.R.C. 308.4.
8. CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF A BUILDING WITHIN 50 FT. BUT NOT LESS THAN 7 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF AS PER SECTION R1001.4.
9. THE GARAGE IS SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN 5/8" GYPSUM BOARD INSTALLED ON CEILING OF GARAGE WHERE THERE IS HABITABLE SPACE ABOVE.
10. THE DOOR BETWEEN THE GARAGE AND THE RESIDENCE IS SOLID CORE OR A 20 MINUTE RATED, AND SELF-CLOSING AS PER I.R.C. SECTION R0501.1.
11. THE ATTIC ACCESS STAIRWAY SHOULD COMPLY WITH SECTION R1001.5.1. ATTIC CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A FULL-CORNER STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22" IN WIDTH BETWEEN THE HANDRAILS AND A LOAD CAPACITY OF NOT LESS THAN 350 LBS. AN OPENING AND A CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 30" WIDE AND NOT MORE THAN 20" IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5; NOT LESS THAN 2" DEEP AND 30" WIDE SHALL BE PRESENT ALONG THE SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 30" BY 54" WHERE SUCH DIMENSIONS ARE LONG ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.



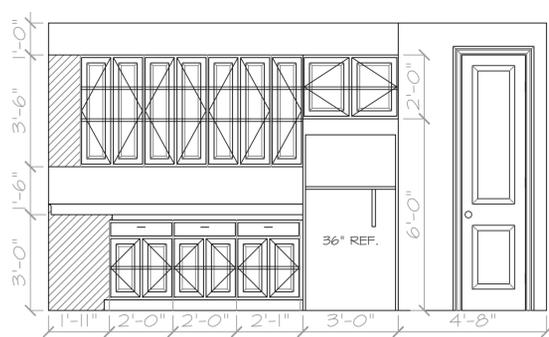
1 LIVING ROOM



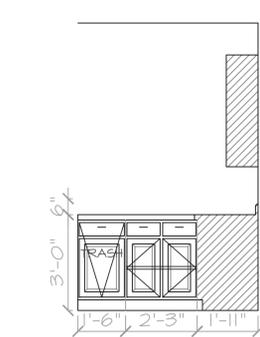
2 DINING/KITCHEN



3 KITCHEN



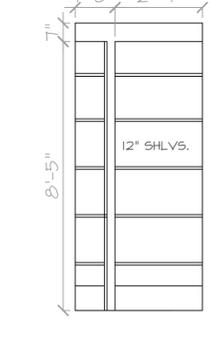
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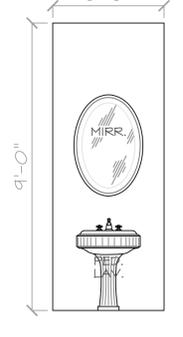
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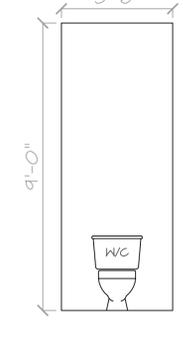
3 PANTRY



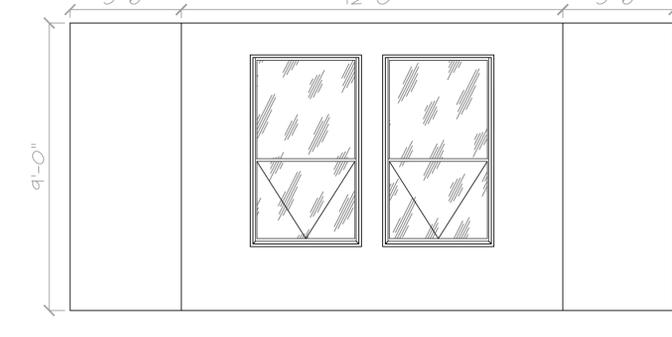
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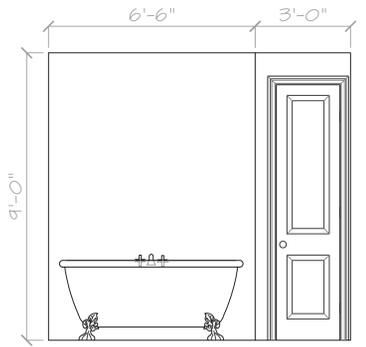
3 PWDR.



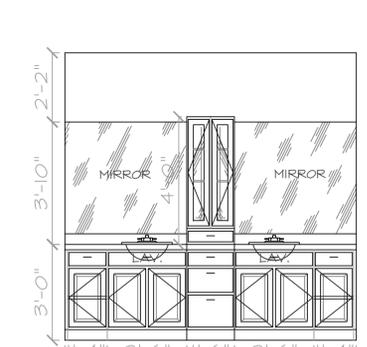
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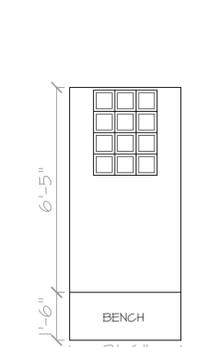
3 MASTER BEDROOM



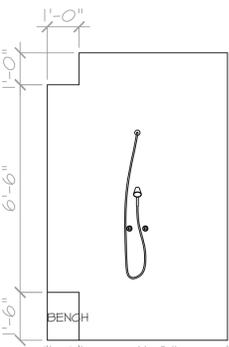
3 M. BATH



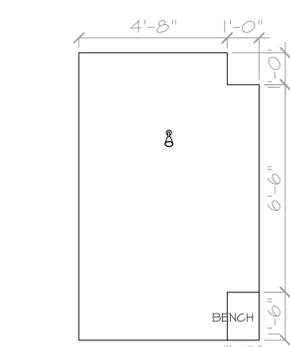
3 M. BATH



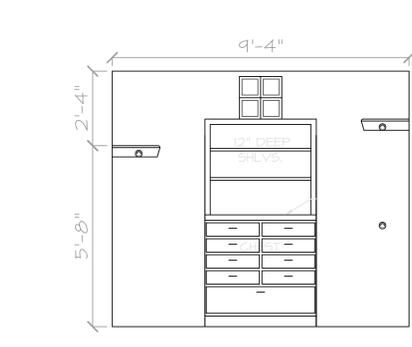
3 M. SHWR



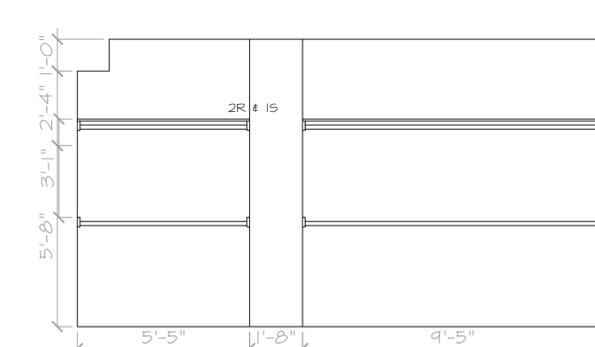
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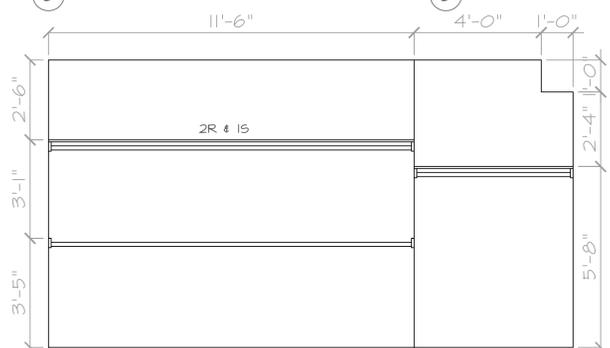
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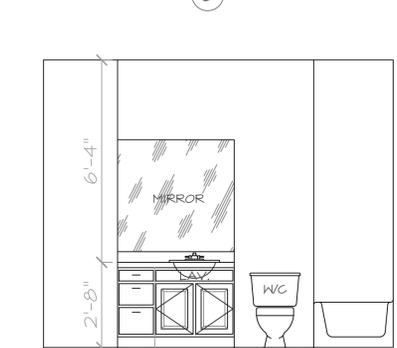
3 M. CLOSET



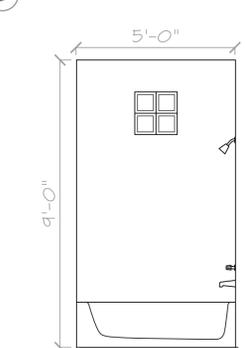
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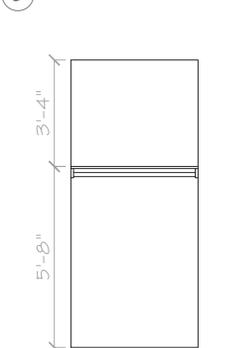
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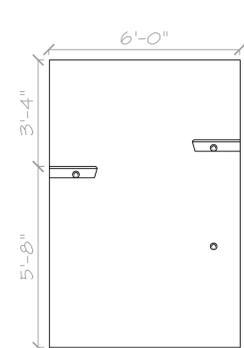
3 BATH 2



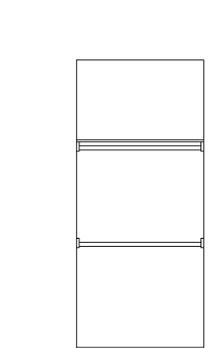
3 BATH 2



3 CLO. 2



3 CLO. 2



3 CLO. 2

INTERIOR ELEVATIONS

SHEET CONTENTS:

INTERIOR ELEVATIONS

1911B Crockett St
Lot 5, Blk 314
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