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TEXAS HISTORICAL COMMISSION

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September 17, 2015

Emily Ardoin, Buildings Curator
The Heritage Society
1100 Bagby St.
Houston, TX 77002-2504

Re: *Recorded Texas Historic Landmark project review*
Kellum-Noble House, Houston, Harris County (RTHL, NR)

Dear Ms. Ardoin:

Thank you for sending the correspondence (received Sept. 11th) regarding proposed project work on your Recorded Texas Historic Landmark. This letter represents the comments of the Executive Director of the Texas Historical Commission.

The review staff, led by Quana Childs, has reviewed the project documentation provided, and has the following comments:

The proposed Scope of Work has changed since the approval in May 2015. The new proposed Scope of Work includes alterations to take the house back to its earliest documented appearance. In the historic photographs you provided, the house is shown with a metal roof and different column spacing. The house went thru several major exterior alterations before its current configuration. We support the return to the ca.1890 appearance. We understand Sparks Engineering is analyzing the gallery and columns. We'll need to review the columns once they have a design drawn up. Our Archeology Division may also need to review the project at that time.

The new Scope of Work for the roof includes:

1. replacing existing solid sheathing where necessary,
2. providing Grace Ice & water Shield underlayment,
3. installing a 1" standing seam metal roof, using either Galvalume or Senox, and
4. installing lead-coated copper half-round gutters with 4" painted downspouts.

The proposed work meets the Secretary of the Interiors Standards for the Treatment of Historic Properties. The project may proceed as proposed.

Thank you for your interest in the cultural heritage of Texas, and for the opportunity to comment on this proposed project in accordance with Recorded Texas Historic Landmark legislation. We look forward to further consultation with your office and hope to maintain a partnership that will foster effective historic preservation. **If you have any questions concerning our review or if we can be of further assistance, please contact Elizabeth Brummett at 512/463-6167.**

Sincerely,



Quana Childs, Architect
for: Mark Wolfe, Executive Director
cc: Harris County Historical Commission
MW/QC



SPECIFICATION NOTES

Codes

Building Code: *International Building Code, 2012 Edition.*

All referenced codes and standards shall include all amendments and addenda in force at the dates of the contract documents. Where conflict exists among the various referenced publications and the contract documents, contact the Engineer.

Structural Design Criteria

Porch Live Load: 100-psf Assembly
Wind Load: 115-mph

Historic Significance

The Kellum-Noble House is a historically significant structure. Exercise special caution in executing all stages of work to prevent damage to historic features. Many of the existing materials are historic and can only be replaced with identical materials and superior craftsmanship. Restore or replicate features damaged as a result of the work. Immediately notify Architect and Owner when concealed historic conditions are uncovered during the course of the work and allow documentation of those conditions.

Existing Conditions

Field verify all existing structural dimensions and conditions. Dimensions shown on the plans are approximate. Field measurements will be required to complete the work. Contractor shall obtain all field measurements as necessary to coordinate with and match new construction to existing conditions.

Some information on these drawings regarding existing features is necessarily conjectural due to unknown conditions at the time of preparation. If conditions exist that differ from the drawings or are not adequately detailed, inform the Engineer and additional details or interpretation will be provided. Do not proceed without verification from the Engineer.

Substitutions

All requests for substitutions of materials or details shown in the contract documents shall be submitted for approval prior to their use.

For any substitutions causing or requiring changes to the structure or the structural design, the Contractor shall bear the responsibility for all consequent additional design and coordination.

Coordination

Compare structural drawings with architectural, mechanical, and civil drawings and report any discrepancy to the Engineer prior to fabrication or installation of structural members.

The details or notes designated as "typical" or "typ" apply generally to the drawings in all areas where conditions are similar to those described as typical. Refer to architectural drawings for trim, mouldings, accessibility, and egress-related requirements.

Protection

Protect the existing structure and surrounding buildings during construction. Replace any element damaged as a result of the work at no expense to the owner.

Selective Removal and Salvage

All items that are salvaged or temporarily removed during the course of work shall be labeled, photographed and recorded to note their existing condition, location and orientation.

Reinstall items that are salvaged or temporarily removed in the same condition, location, and orientation as when they were removed.

Remove anchors and embedded steel by carefully deconstructing masonry around the steel. Take care to salvage the greatest number of unbroken units for reinstallation. Anchors in masonry should be cored out. Patch and reposition the masonry to hide the patch, or replace the masonry to match existing as approved by the Architect.

Dispose or salvage demolished materials as directed by the Architect.

Temporary Bracing, Falsework, and Formwork

The design, construction, and safety of all temporary supports, such as guys, braces, falsework, formwork, shores, and bracing required for the execution of the contract, are not included in the drawings and shall be the responsibility of the Contractor.

Site Drainage

Slope grade to drain away from building in all areas.

Use clay to backfill top 12" of all utility and below grade drain systems in landscaped areas.

Roof drains and downspouts shall discharge away from foundation, and storm water shall be routed away from building.

Demolition

Erect temporary partitions, barricades, warning devices, and controls.

Provide protective coverings, shoring, bracing, and supports for construction designated to remain.

Remove existing construction to extent indicated or as necessary for the work. Do not remove more than is necessary to allow for new construction.

Masonry

Grout for filling cavities in concrete masonry units shall be made with Type N Masonry Cement and clean concrete sand, having a maximum aggregate size of 3/8" and a minimum 28 day compressive strength of 1700 psi.

Do not use calcium chloride in mortar.

Mortar shall comply with ASTM c 270 and be of the following types:

Type N: 1:2.5
Proportions are: White masonry cement (ASTM C 150, type I); Masons sand, by volume.

Sand shall be from a local natural source, matching the color and gradation of the sand in the original mortar.

Unless noted otherwise, all masonry joint reinforcement, wires, anchors, and accessories shall be Type 304 stainless steel.

Horizontal joint reinforcement shall be 1" x 1" x 0.063 welded wire mesh, Type 304 stainless steel, or approved substitute

Do not use mortar that has begun to set or that has been mixed more than two hours.

Lay masonry units plumb, level, and true to a line. Align on exposed face or as indicated.

Lay masonry units in full bed of mortar with head joints and bed joints completely filled.

Cut masonry units with power saw where necessary for fitting or bonding. Broken units not permitted in exposed faces. Lay out courses to minimize cutting and to avoid jumping bond.

Removal of Embedded Iron Elements

Remove all embedded iron or steel elements from the existing masonry including beams, plates, screws, bolts, inserts, and anchors.

Remove in a way that causes the least disturbance of surrounding masonry.

Take care to salvage the greatest number of unbroken masonry units for reinstallation.

Small holes shall be filled with repointing mortar.

Patch or replace damaged masonry units to match existing.

Wood Framing

Inspect and probe gallery roof framing, built-up soffit beam, drop-in ceiling sheathing, etc. to determine the extent and limits of decay prior to removal, and obtain engineer's recommendation for repair.

Unless noted otherwise, the following materials are typical:

Lumber: #1 southern pine.
Preservative treatment: All lumber shall be pressure-treated with ACQ or other approved chemical per AWWA treatment standards, kiln-dried after treatment (KDAT). Lumber must bear a legible treatment stamp.

Except as otherwise noted, framing shall comply with the conventional framing rules of the referenced building code.

Connectors:

Nails, screws and bolts shall be stainless steel, unless noted otherwise.

Anchors into masonry shall be stainless steel.

Structural screws shall be TimberLOK and HeadLOK by Fasten Master and shall have a proprietary corrosion-resistant coating with a lubricious clear top coat.

Bolt hole diameter shall be no more than 1/16" larger than the specified bolt diameter.

Use 1/4" plate washers at both ends of timber bolts (outside diameter of the washer shall be at least 2.5 times the bolt diameter), unless noted otherwise.

Joist hangers for porch gallery framing not terminating at a gallery beam shall be Simpson HUC28-2 concealed flange joist hangers. Joist hangers shall be stainless steel.

Beam Hangers for porch gallery framing shall be Simpson HGUS5.50/8 beam hangers, stainless steel.

Field preservative treatment of wood:

Submit all products for approval prior to use.

Zinc naphthenate preservative: Use a products with minimum 2% solution of zinc naphthenate (Greens Clear Wood Preservative, RecoChem Inc's Clear Wood Preservative or approved substitute).

Copper naphthenate preservative: Use a products with minimum 2% solution of copper naphthenate (Greens Copper-Green Wood Preservative, RecoChem Inc's Copper II Green Preservative; or approved substitute).

Anchors

Adhesive anchors shall be equal to Hilti HY-70 for Masonry and Hilti HY-200 for Solid Concrete. Screen tube required in hollow masonry. Field sample required to demonstrate performance.

All anchors shall be stainless steel.

Use the drill bit type and size recommended by the anchor manufacturer.

After drilling, all dust and other foreign matter shall be blown out of the hole with compressed air.

Anchors shall be installed perpendicular to the face of the structure unless noted otherwise.

Non-Shrink Grout

Non-shrink grout is only permitted where indicated for use on the drawings or as required by the Engineer.

Do not use non-shrink grout for masonry repair or repointing.

Non-shrink grout shall be shrinkage-compensated, non-metallic, cementitious, high strength grout, equal to "SIKAGROUT 212" by SIKA.

Non-shrink grout shall contain no greater chloride ion concentration than is contained in the local potable water supply.

Non-shrink grout shall be mixed and used in accordance with the grout manufacturer's published instructions.

Non-shrink grout shall be used for grouting of base plates, setting of embeds, transferring loads, and filling of voids, where shown on the drawings or required by the Engineer.

Tile-Setting Mortar & Grout

Where shown or as directed, use tile setting mortar or grout for bedding of end plates, ledgers, or other structural elements against historic masonry.

Materials shall be pre-packaged polymer modified cementitious, single component products by Laticrete or approved substitute.

END OF NOTES

1847 KELLUM-NOBLE HOUSE

Sam Houston Park
Houston, Texas
Porch Restoration

SPARKS ENGINEERING, INC.

Texas Registered Engineering Firm F-00515

933 North Flores Street
San Antonio, Texas 78212

Ph: (210)229-0669

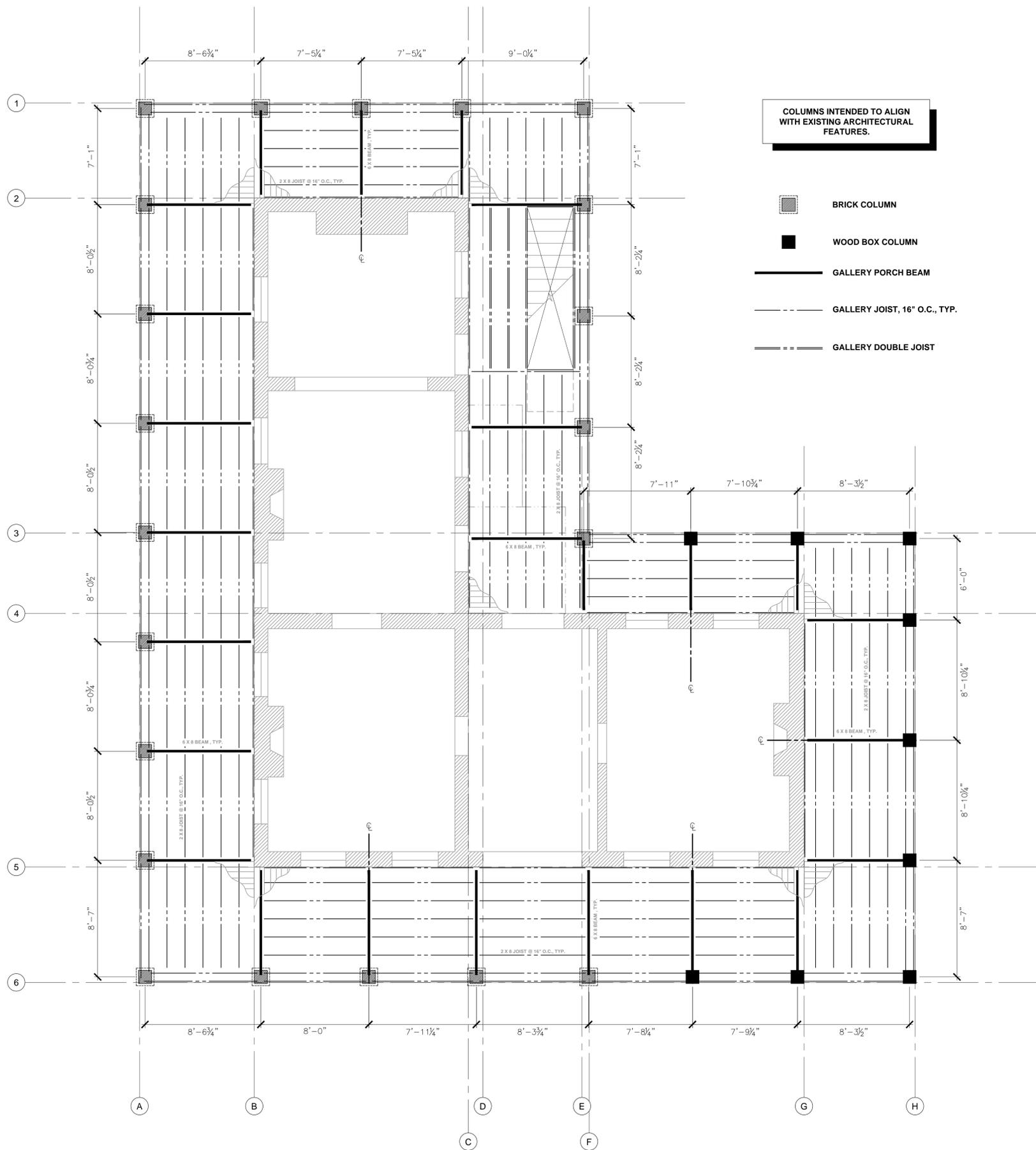
www.sparksenengineering.com



REVISIONS	
#	DATE
1	12-21-2015
2	01-14-2016

DATE: 01-14-2016 PROJECT NUMBER: 06-334

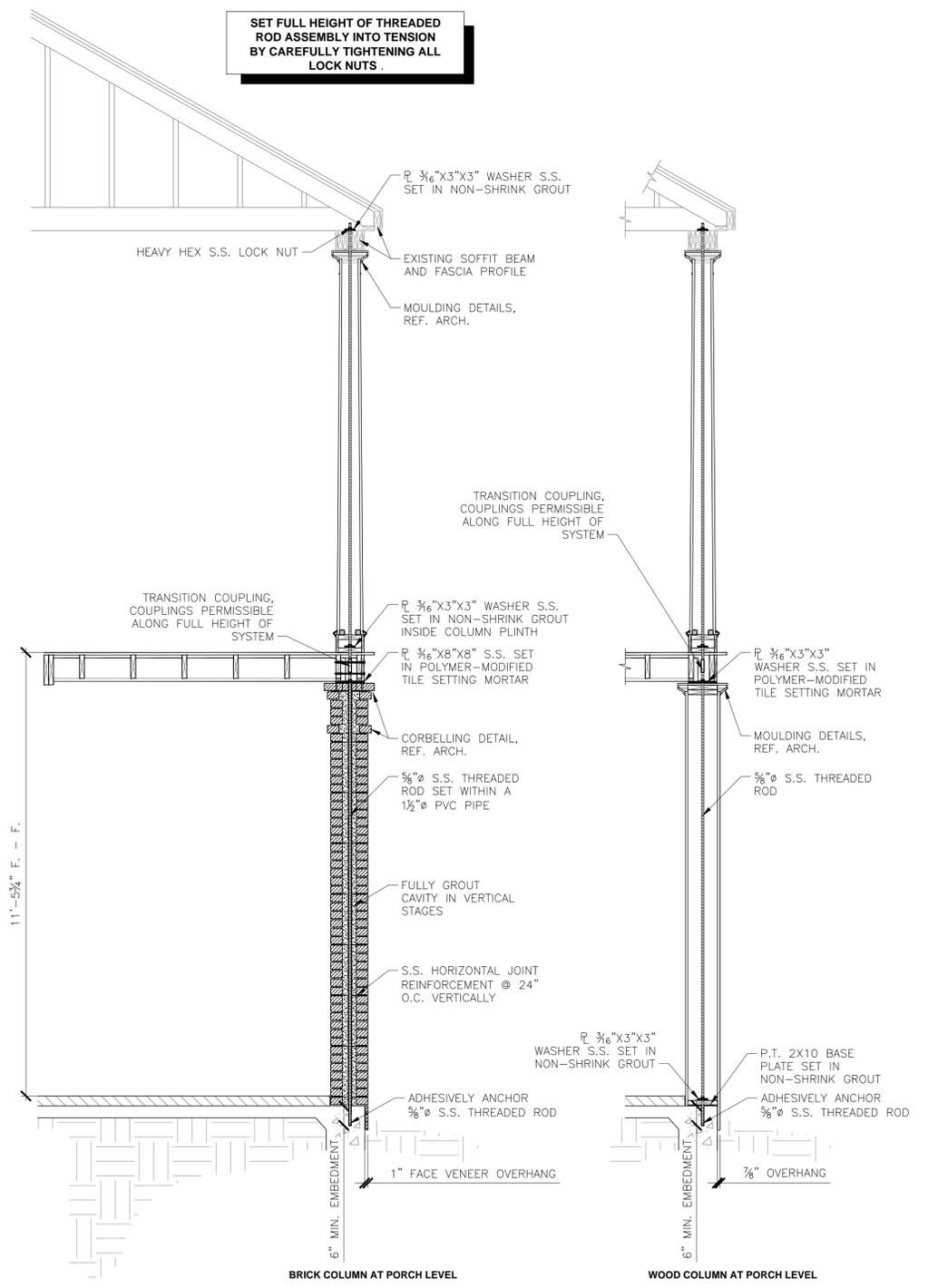
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COLUMNS INTENDED TO ALIGN WITH EXISTING ARCHITECTURAL FEATURES.

- BRICK COLUMN
- WOOD BOX COLUMN
- GALLERY PORCH BEAM
- GALLERY JOIST, 16" O.C., TYP.
- GALLERY DOUBLE JOIST

GALLERY FRAMING PLAN
 PLAN NORTH
 1/4" = 1'-0"



1 GALLERY COLUMN ASSEMBLIES
 1/2" = 1'-0"

1847 KELLUM-NOBLE HOUSE
 Sam Houston Park
 Houston, Texas
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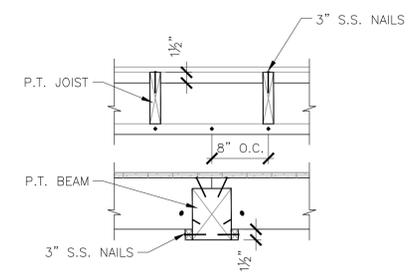


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2	01-14-2016

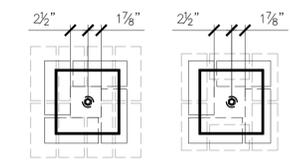
DATE: 01-14-2016 PROJECT NUMBER: 06-334
 SHEET:

S2.0

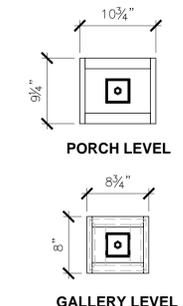
100% CONSTRUCTION DOCUMENTS



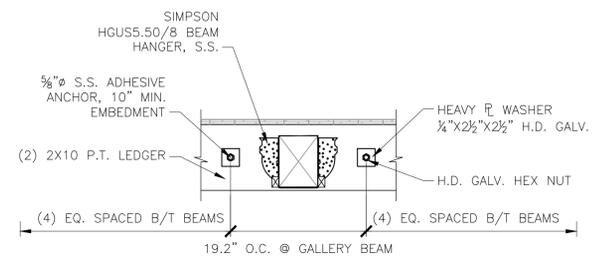
1 JOIST TO BEAM DETAIL, TYP.
 1" = 1'-0"



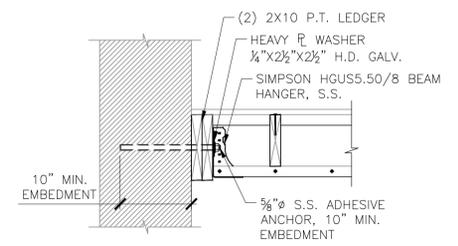
2 BRICK COLUMN PLAN
 1" = 1'-0"



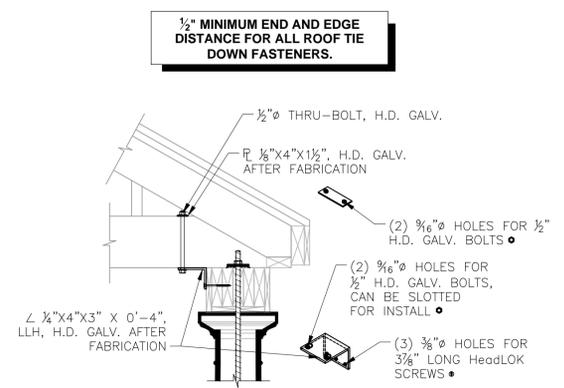
3 WOOD COLUMN PLAN
 1" = 1'-0"



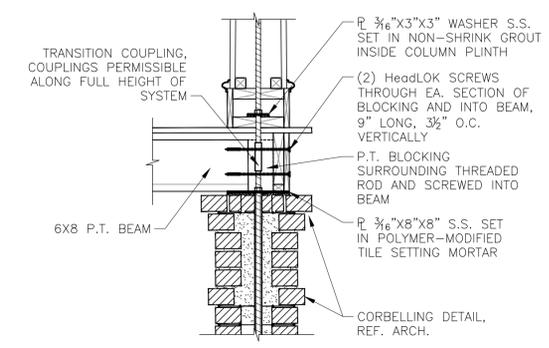
7 GALLERY BEAM TO WALL, TYP.
 1" = 1'-0"



6 GALLERY LEDGER, TYP.
 1" = 1'-0"



5 ROOF TIE DOWN, EVERY 3RD JOIST
 1" = 1'-0"



4 ROOF TIE DOWN, EVERY 3RD JOIST
 1" = 1'-0"



REVISIONS	
#	DATE
1	12-21-2015
2	01-14-2016

DATE: 01-14-2016 PROJECT NUMBER: 06-334
 SHEET:

S2.0

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS:

BUILDING TYPE

- | | |
|---|--|
| <input type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input checked="" type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input checked="" type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input checked="" type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

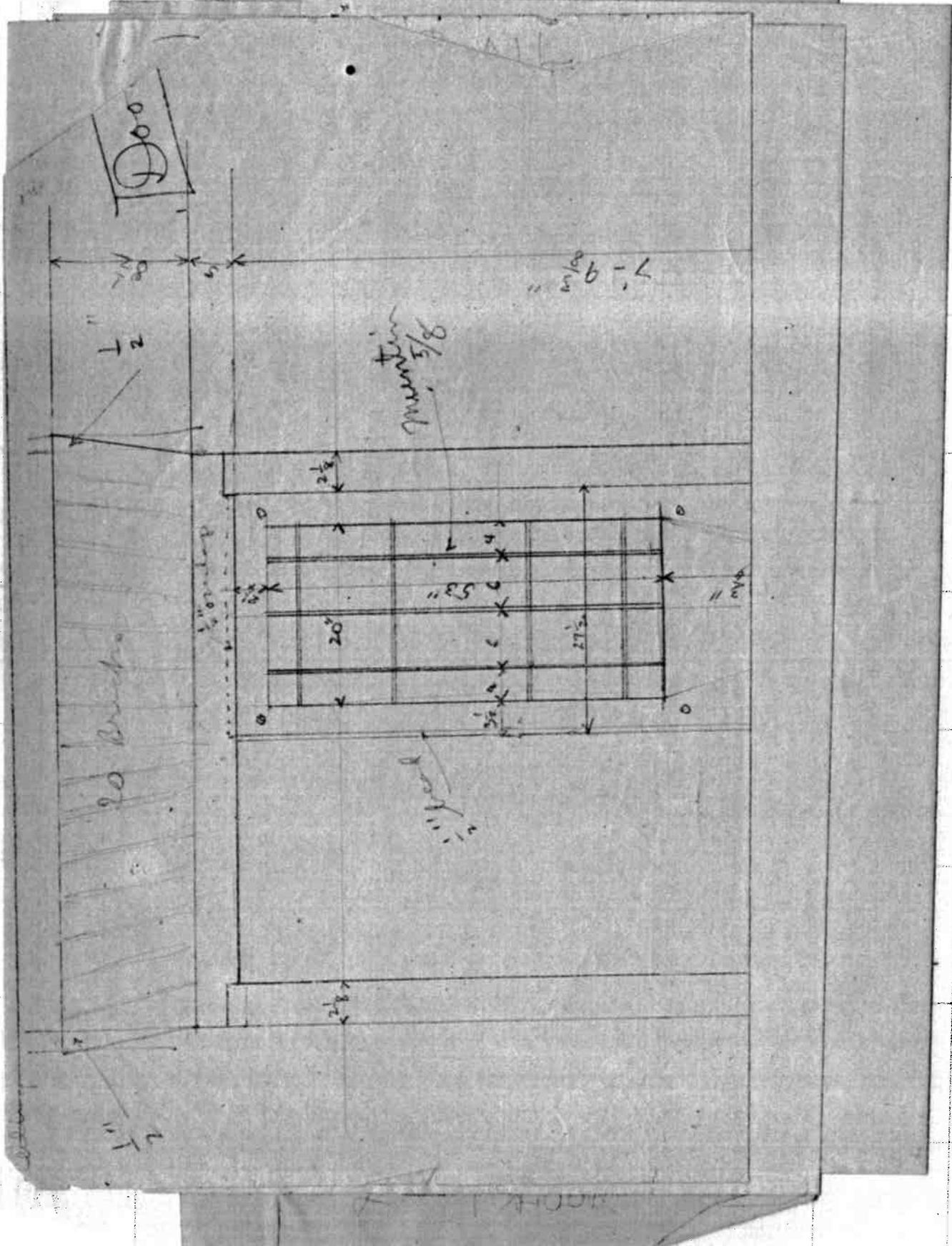
- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

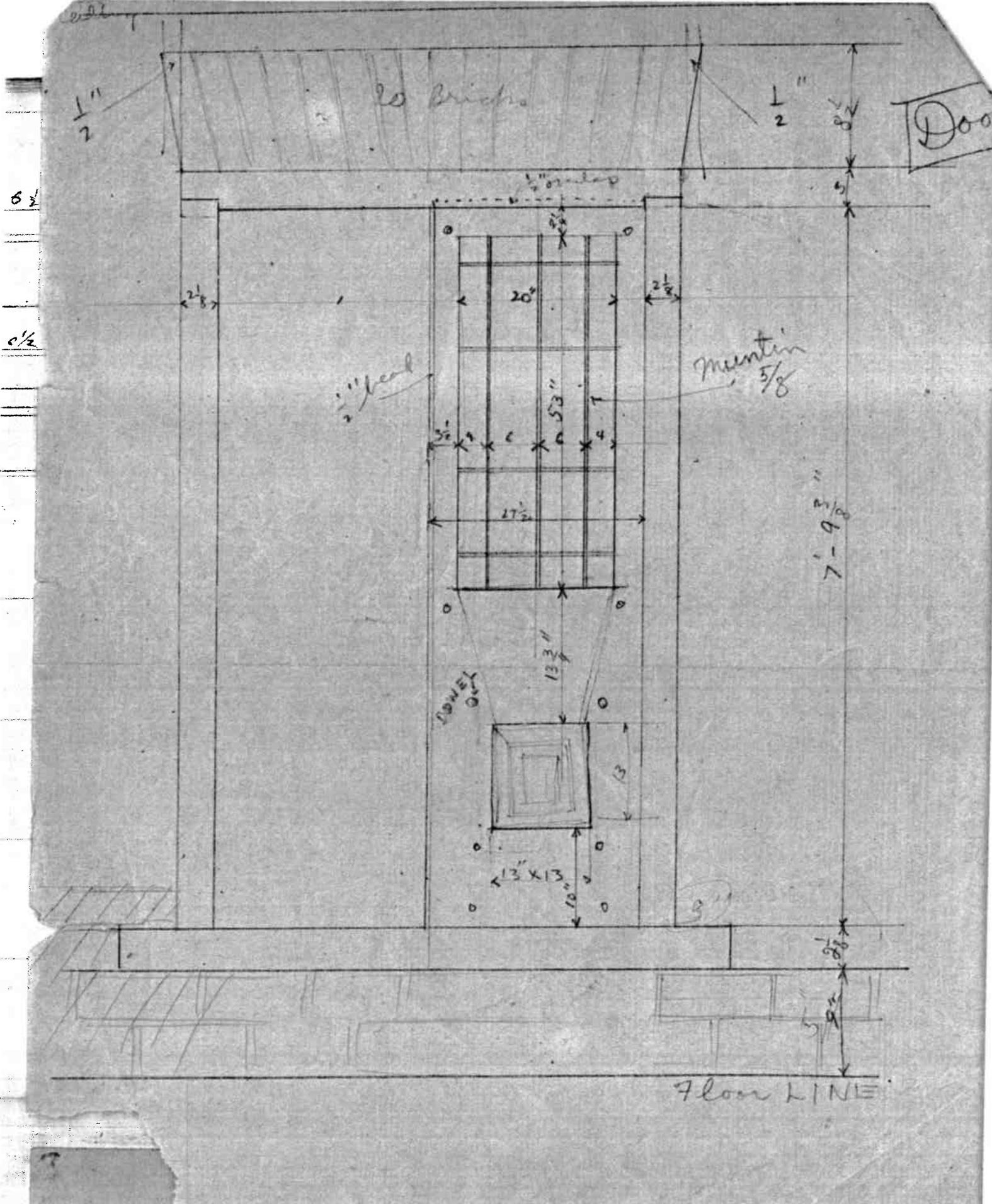
DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

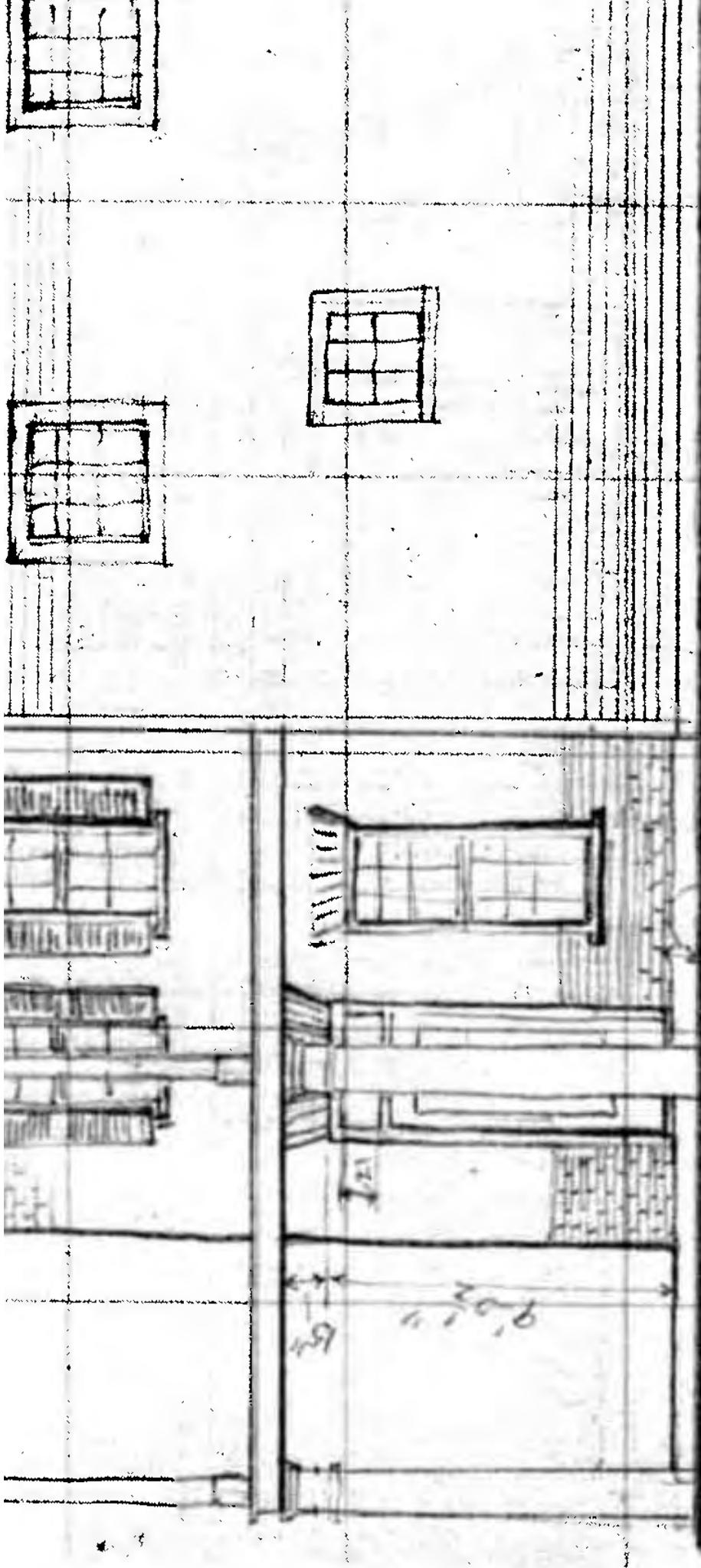
- | | |
|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed site plan | <input type="checkbox"/> current roof plan |
| <input type="checkbox"/> current floor plans | <input type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> current window and door schedule | <input type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight |











7¹/₂ SOUTH - ELEVA-

7-1



SOUTH-WEST -
SCALE



CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 212 Dallas Street, Houston, TX 77002
 Historic District / Landmark Kellum-Noble House HCAD # _____
 Subdivision Sam Houston Park; Abstract 1 J. Austin Lot Track 17, 17A, 17B Block 262

DESIGNATION TYPE

- Landmark Contributing
 Protected Landmark Noncontributing
 Archaeological Site Vacant

PROPOSED ACTION

- Alteration or Addition Relocation
 Restoration Demolition
 New Construction Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Joe Turner, HPARD Director
 Company Houston Parks & Recreation Dept.
 Mailing Address 2999 South Wayside
Houston, TX 77023
 Phone (832) 395-7000
 Email [REDACTED]
 Signature _____
 Date _____

APPLICANT (if other than owner)

Name Alice Collette, Executive Director
 Company The Heritage Society
 Mailing Address 1100 Bagby Street
Houston, TX 77002
 Phone (713) 655-1912
 Email [REDACTED]
 Signature [Signature]
 Date 2/2/2016

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the **Historic Preservation Web Manual** for historic district profiles, project guidance and forms.

www.houstontx.gov/HistoricPreservationManual

Historic Preservation Office	832.393.6556	historicpreservation@houstontx.gov
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SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to historicpreservation@houstontx.gov (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to historicpreservation@houstontx.gov, or
- contact staff to set up an appointment to drop off a disc or flash drive.

MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- **Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2016 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
January 28	January 6	January 18
February 25	February 3	February 15
March 24	March 2	March 14
April 21	March 30	April 11
May 19	April 27	May 9
June 16	May 25	June 6
July 28	July 6	July 18
August 25	August 3	August 15
September 22	August 31	September 12
October 20	September 28	October 10
November 17	October 26	November 7
December 14 (Wednesday)	November 22	December 4

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



PLANNING &
DEVELOPMENT
DEPARTMENT

DEFINITIONS

Addition: any expansion to an existing building, structure or object.

Alteration: any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

Demolition: an act or process that destroys in whole, or a majority of, any building, structure, object or site.

Excavation: to expose, uncover, or remove by digging, cutting or hollowing out.

Exterior Feature: an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials and parts of the exterior wall assembly such as walls studs, interior shiplap and the foundation

Mandatory Repair: a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

New Construction: the erection of a new building, structure, or object, on a lot, site, or other property.

Relocation: any change in the location of a building, structure, or object.

Restoration: accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

PAUL GOLLUB ROOFING

606 Elm View Court • Cell: 832.423.3025
Stafford, Texas 77477



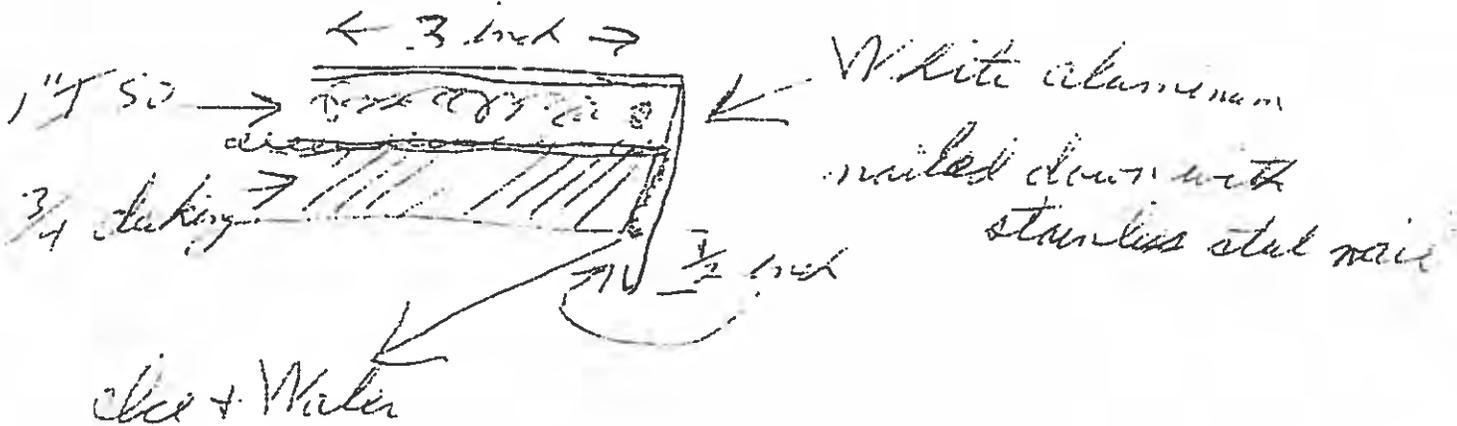
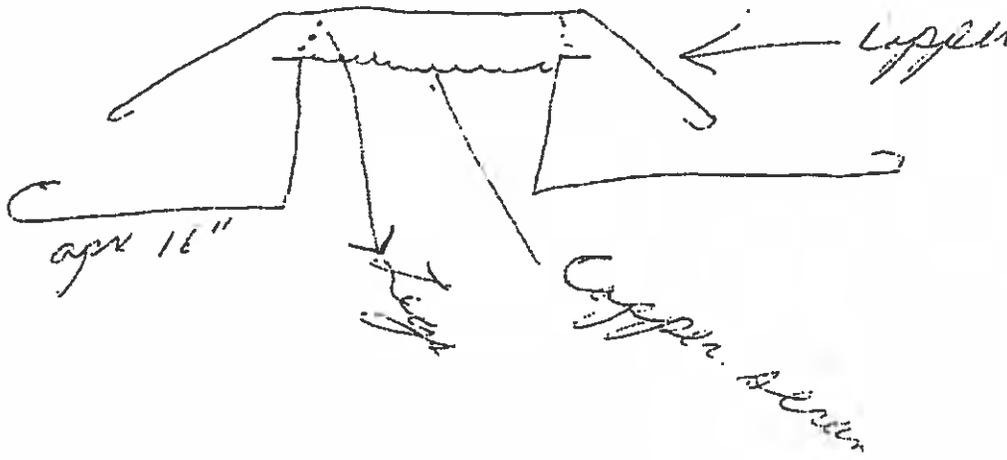
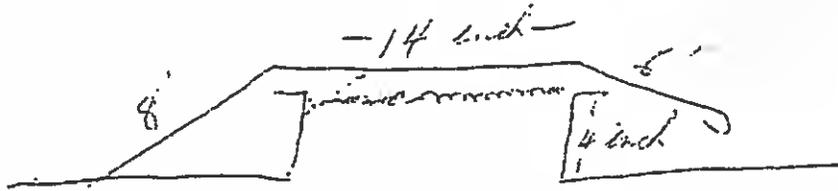
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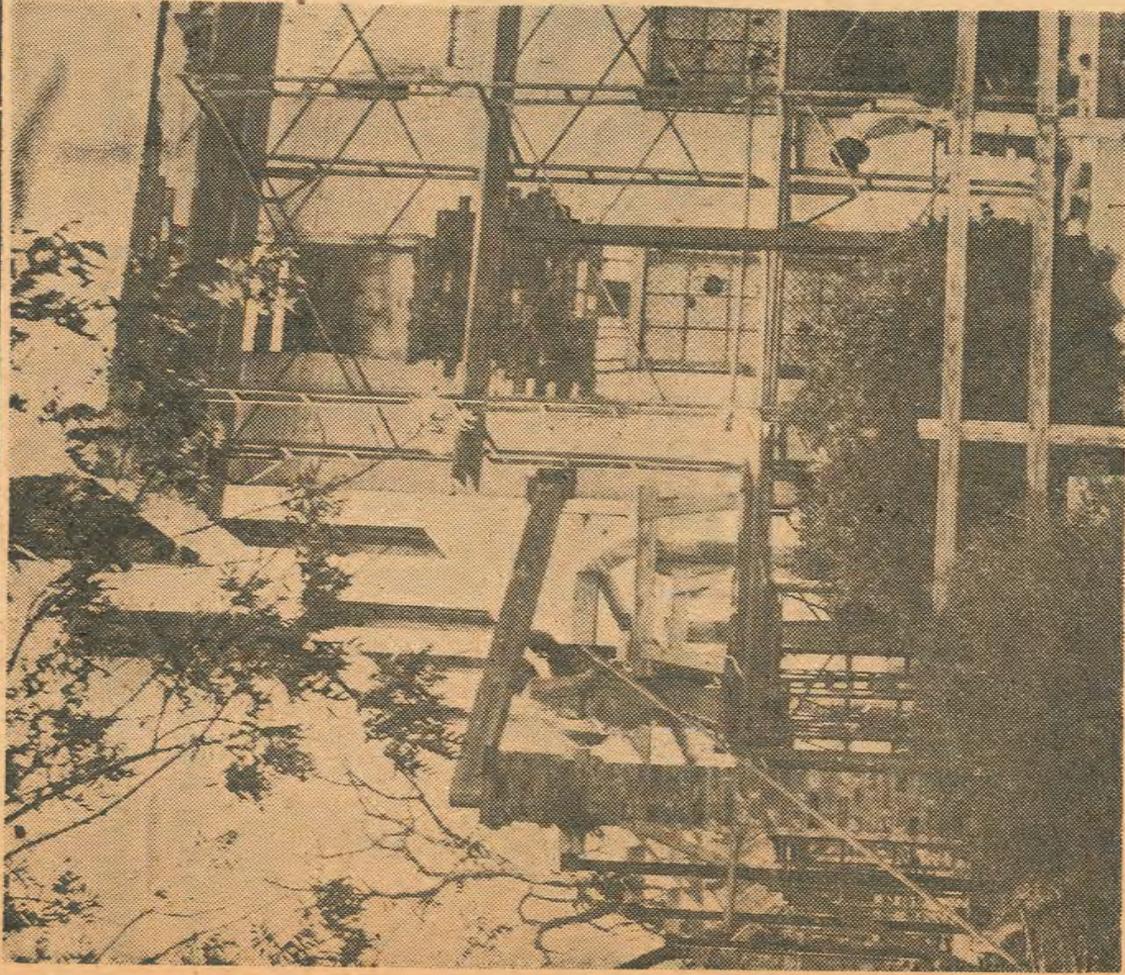
Heritage Society

att: Emely

Fax 713-655-9249

Kellum - Noble House





NEW PORCH FOR NOBLE HOUSE— Outside restoration work on the A. W. Noble house is under way and most of the supporting beams for porch and balcony which will encircle the house are

in place. The porch and the entire house will be strengthened, but it will look as it did when first built in 1840. (Chronicle Photo)

Crooked Wall Rebuilt in Old Noble House

BY

Earl Walker, mayor, 15 to a board of River A. busier. "Water

to our c prosperity could do good on mayor." Besides Mayor W many affa son of Ho he owns C is vice pr rector of t Bank here; H. E. Walke Veneer and Walker Lum two brothers own the Hill Co. now bu side of Cleve

But the wall was purposely reconstructed with a 2-inch concave bow to match an architectural flaw made almost 100 years ago.

Detailed Restoration

This is one of the many details in the restoration of the two-story house on Dallas just west of the City Hall. The work is being sponsored by the Harris County Heritage and Conservation Society.

The house is one of the oldest in the Houston area. The front section was built about 1842 and the back addition, with the bow, in 1857.

The date of the addition was pinpointed when the general contractors on the job, Cook Construction Co., started patching work on the wall. A shiny 1857 quarter

was found in the clay which was used to mortar the bricks.

Mrs. M. W. Phelps, society chairman, said it is believed that the mason who did the job placed the money there to establish the date of the work.

To Be Open to Public

The society estimates that it will cost \$42,000 to restore the building which will be open to the public when it is finished. Contributions of \$16,000—enough to do the exterior work—have been received.

The cost of the job has been greatly reduced because the general contractors and seven of the subcontractors have agreed to do the work at cost.

Even though the building was damaged by fire before the restoration work was started, architect Harvin Moore estimates that 82 per cent of the original materials

"I don't keep such. I keep each place carry my o Walker said.

The 47-year born in Wa took a B.S. from Sam I 1932, then a from the Un During the school in I and Splendo

While t studied law graduated Law School, not take a

Made While te vested in In 1939, bought t "You i Motors t ness inte financed he said. During er start no cars sawmill. By 19

Here's one Christmas gift he won't return!



Norelco®

It's like having his

ROOF: STANDING SEAM METAL
WITH HALF-ROUND GUTTER



1873 BIRDS-EYE MAP
PORCH/ROOF EXTENDED
AFTER 1873?

ROOF RETURNS
AROUND SIDE
OF BUILDING



9 COLUMNS
(2 HIDDEN BEHIND TREES)

8 COLUMNS

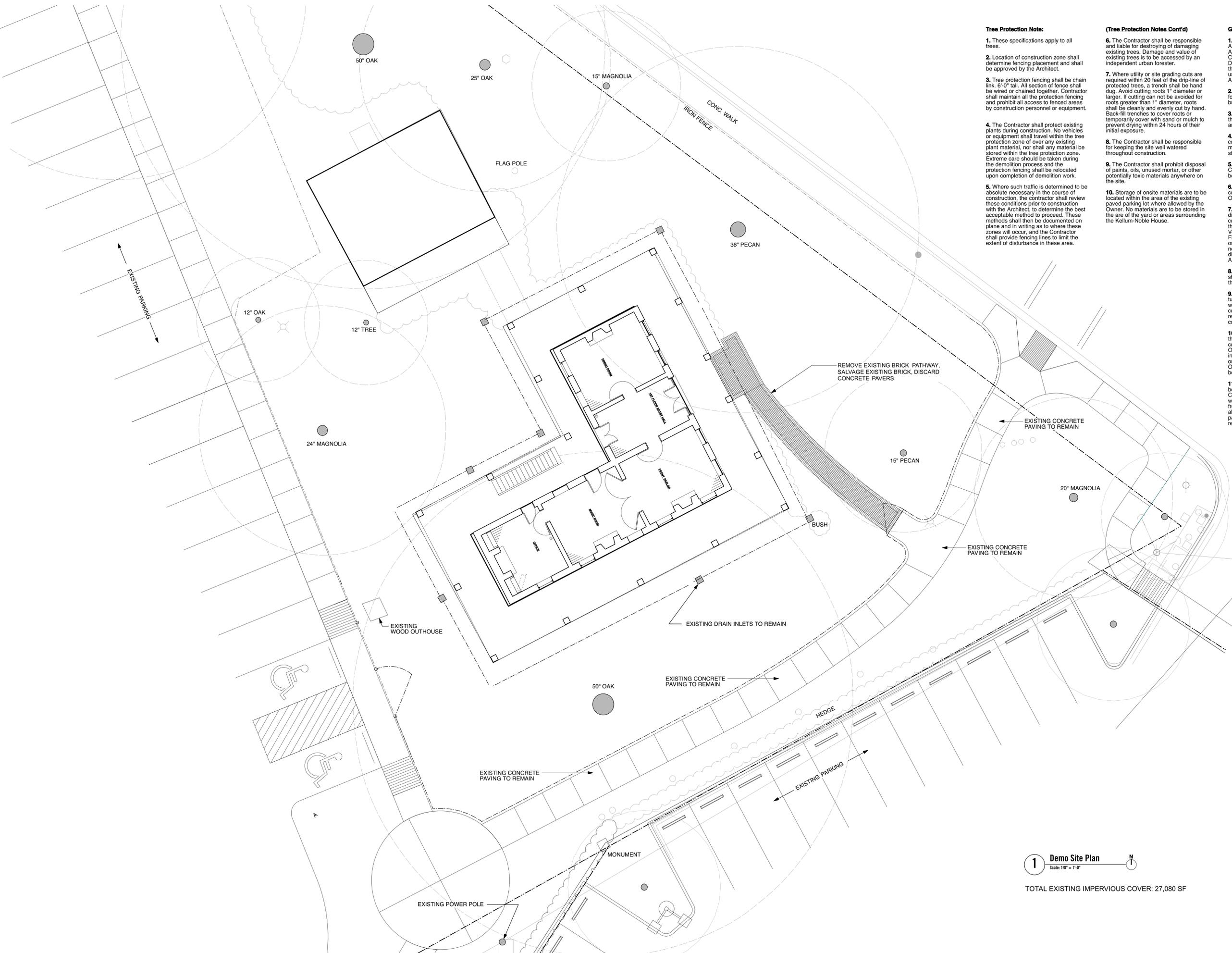
PORCH
ENCLOSED,
CLAPBOARD
SIDING



COLUMNS DO NOT MATCH
OTHERS - WOOD?



KELLUM-NOBLE HOUSE CA. 1890



Tree Protection Note:

1. These specifications apply to all trees.
2. Location of construction zone shall determine fencing placement and shall be approved by the Architect.
3. Tree protection fencing shall be chain link, 6'-0" tall. All section of fence shall be wired or chained together. Contractor shall maintain all the protection fencing and prohibit all access to fenced areas by construction personnel or equipment.
4. The Contractor shall protect existing plants during construction. No vehicles or equipment shall travel within the tree protection zone of over any existing plant material, nor shall any material be stored within the tree protection zone. Extreme care should be taken during the demolition process and the protection fencing shall be relocated upon completion of demolition work.
5. Where such traffic is determined to be absolute necessary in the course of construction, the contractor shall review these conditions prior to construction with the Architect, to determine the best acceptable method to proceed. These methods shall then be documented on plane and in writing as to where these zones will occur, and the Contractor shall provide fencing lines to limit the extent of disturbance in these areas.

(Tree Protection Notes Cont'd)

6. The Contractor shall be responsible and liable for destroying or damaging existing trees. Damage and value of existing trees is to be accessed by an independent urban forester.
7. Where utility or site grading cuts are required within 20 feet of the drip-line of protected trees, a trench shall be hand dug. Avoid cutting roots 1" diameter or larger. If cutting can not be avoided for roots greater than 1" diameter, roots shall be cleanly and evenly cut by hand. Back-fill trenches to cover roots or temporarily cover with sand or mulch to prevent drying within 24 hours of their initial exposure.
8. The Contractor shall be responsible for keeping the site well watered throughout construction.
9. The Contractor shall prohibit disposal of paints, oils, unused mortar, or other potentially toxic materials anywhere on the site.
10. Storage of onsite materials are to be located within the area of the existing paved parking lot where allowed by the Owner. No materials are to be stored in the are of the yard or areas surrounding the Kellum-Noble House.

General Notes:

1. A contract shall be executed using AIA Document A107, Standard Form of Agreement Between Owner and Contractor for a Stipulated Sum, AIA Document A201, General Conditions of the Contract for Construction, shall be used in conjunction with Document A107.
2. The Contractor shall obtain and pay for all permits and shall obtain all building department inspections.
3. Materials and work shall comply with the 2006 International Residential Code and all other applicable codes.
4. All work shall be performed and completed in a workman-like manner, maintaining the highest quality standards of each trade.
5. Before submitting proposal, Contractor shall visit the site and become familiar with all conditions.
6. Contractor shall provide insurance coverage prior to signing Owner/Contractor Agreement.
7. Contractor shall verify all existing dimensions for horizontal and vertical control and report any discrepancies to the architect before commencing work. Verify dimensions for all equipment. Field verify measurements before ordering materials and equipment. Any necessary adjustments for equipment or discrepancies shall be reported to the Architect.
8. All specified products and systems shall be installed or applied according to the manufacturers written instructions.
9. Upon completion the project shall be turned over to the owner "glove" clean with all equipment and operable components functioning and surfaces required painting or finishing to be completed.
10. The Contractor shall guarantee for the period of one year after the date of completion and acceptance by the Owner all workmanship and materials included in the work, and shall replace or repair at no additional cost to the Owner any part thereof which may become defective.
11. At completion of the project, but before acceptance of the work, Contractor shall deliver to the Owner written release of lien on the property from all sub-contractors; an affidavit that all bills charged against the Contract are paid; and all guarantees or bonds as required on specific parts of the work.

1 Demo Site Plan
Scale: 1/8" = 1'-0"

TOTAL EXISTING IMPERVIOUS COVER: 27,080 SF

Architect:
Stern and Bucek Architects
1610 Commerce Street
Houston, Texas 77002

Structural Engineer:
Sparks Engineering, Inc.
403 North Mays Street,
Round Rock, TX 78664
512-310-7727

MEP Engineer:
BURY Inc.
7660 Woodway Dr.,
Suite 400,
Houston, TX 77063
713-997-3430
TX Reg No. F-1048

06/20/2014 ISSUED FOR PERMIT
09/10/2014 ISSUED FOR REVISIONS - 1
12/09/2014 ISSUED FOR CONSTRUCTION

Kellum-Noble House
Sam Houston Park Houston, Texas 77002

Demo Site Plan

A-100.1

FLOOR, ROOF AND PORCH INVESTIGATION

We observed extensive decay in the wood decking throughout the porch. Also, as mentioned in the Phase 1 report, the porch was rebuilt in 1958 using a steel frame. A section of masonry was removed to inspect the condition of steel at the base and top of one column. A high level of corrosion was observed at both locations. Termite damage was also observed on wood members at the top of the column.



Appearance of beam-to-column connection



Steel column embedded in masonry with significant corrosion.



We observed the steel porch framing, and found a significant level of corrosion, including the base plates and embedment in the masonry walls.



View of the top of the masonry/steel column and the state of preservation. Termite damage in wood members and corrosion in steel members can be clearly observed.

