

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 501 Highland Street
 Historic District / Landmark Woodland Heights HCAD # 0372 840000 16
 Subdivision Woodland Heights Lot 16 Block 19

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Todd + Denise Liebl
 Company _____
 Mailing Address 1822 Arlington Street
Houston, TX 77008
 Phone 281.798.6929
 Email [REDACTED]
 Signature [Signature]
 Date 2/1/2016

APPLICANT (if other than owner)

Name Alex Ridgway
 Company Brickmoon Design
 Mailing Address 1438 Campbell Rd, Ste 202
Houston, TX 77055
 Phone 281.501.2712
 Email [REDACTED]
 Signature [Signature]
 Date 2.1.16

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 501 Highland

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|--|
| <input type="checkbox"/> addition | <input checked="" type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input checked="" type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input checked="" type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS

 label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS

 scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|---|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed site plan | <input type="checkbox"/> current roof plan |
| <input type="checkbox"/> current floor plans | <input checked="" type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> current window and door schedule | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight |



To: Houston Archaeological and Historical Commission

From: Brickmoon Design

Date: February 1, 2015

Subject: COA Application – 501 Highland Description

This project obtained an initial COA on April 1, 2015 and a revised COA on October 22, 2015. We would like to propose the following revisions to the project.

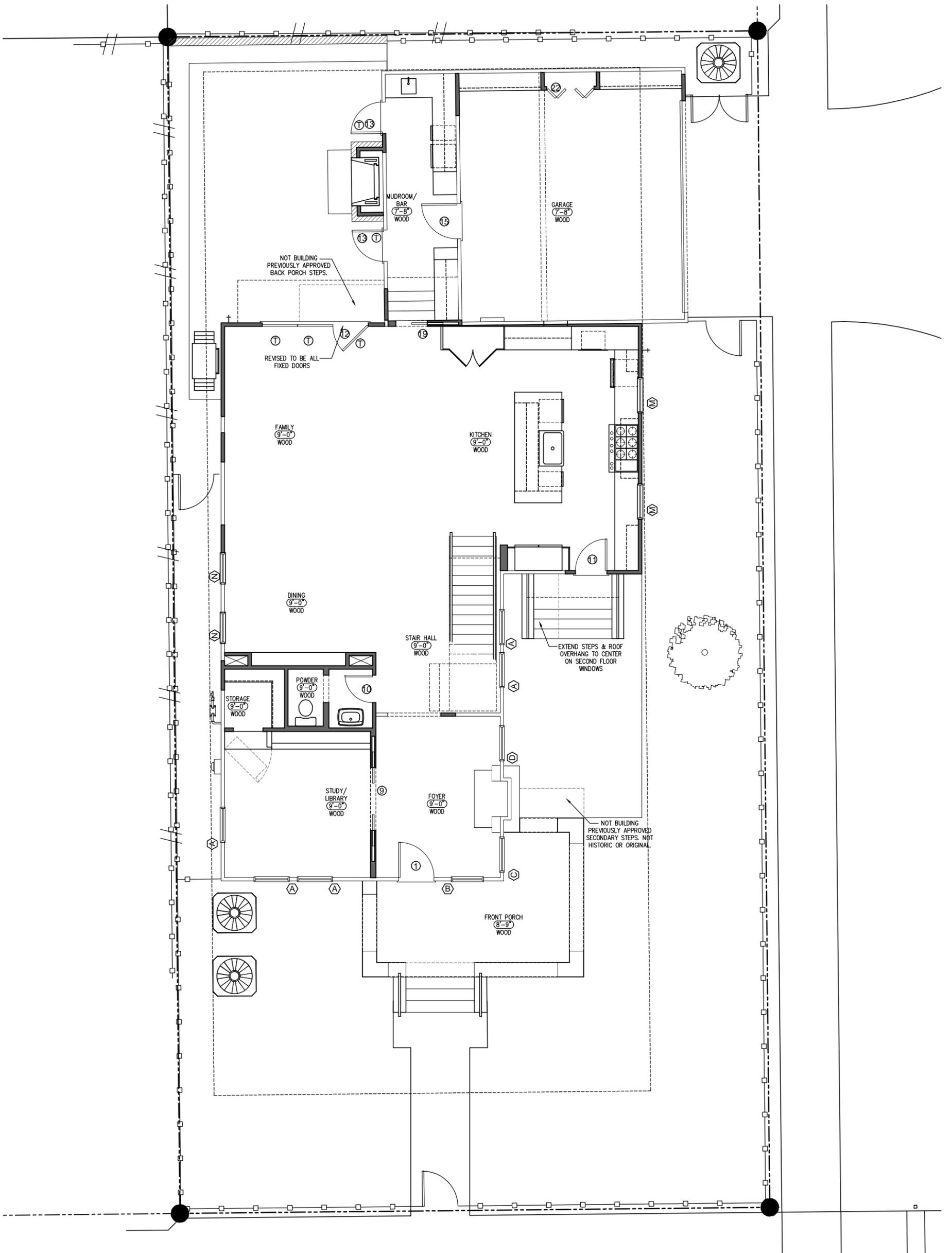
In the initial COA application, a second set of stairs from the front porch was approved to be constructed. We propose that those steps not be constructed and be returned to the original porch design. There was also a set of stairs coming from the family room down into the back patio. We would also like to propose that those steps not be constructed.

The initial application also included a small balcony, set of doors, and two windows on the second floor of the garage facing Helen Street. We would like to revise those items to only be three aluminum clad windows. The two outer windows will be operable casement windows and the middle will be one fixed window.

We would like to propose that the set of new stairs coming from the kitchen, and the correlating roof overhang, be extended an additional 3'-1 1/2" towards the existing house. This will center the porch and roof overhang on the existing second floor windows. We would also like to propose that the roof overhang be a metal roof instead of an asphalt shingle roof.

The revised COA on October 22, 2015 allowed the reconstruction of a new front porch to match the existing porch that had been removed. We would like to propose that the new roof on the front porch be a metal roof instead of an asphalt shingle roof.

Please see the attached floor plans and elevations for more details on the proposed changes.

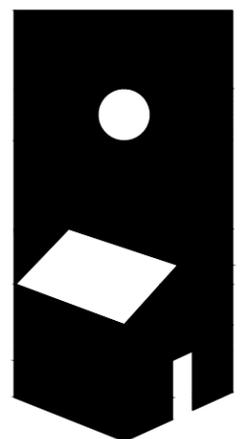
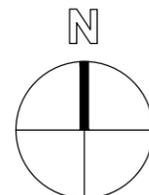


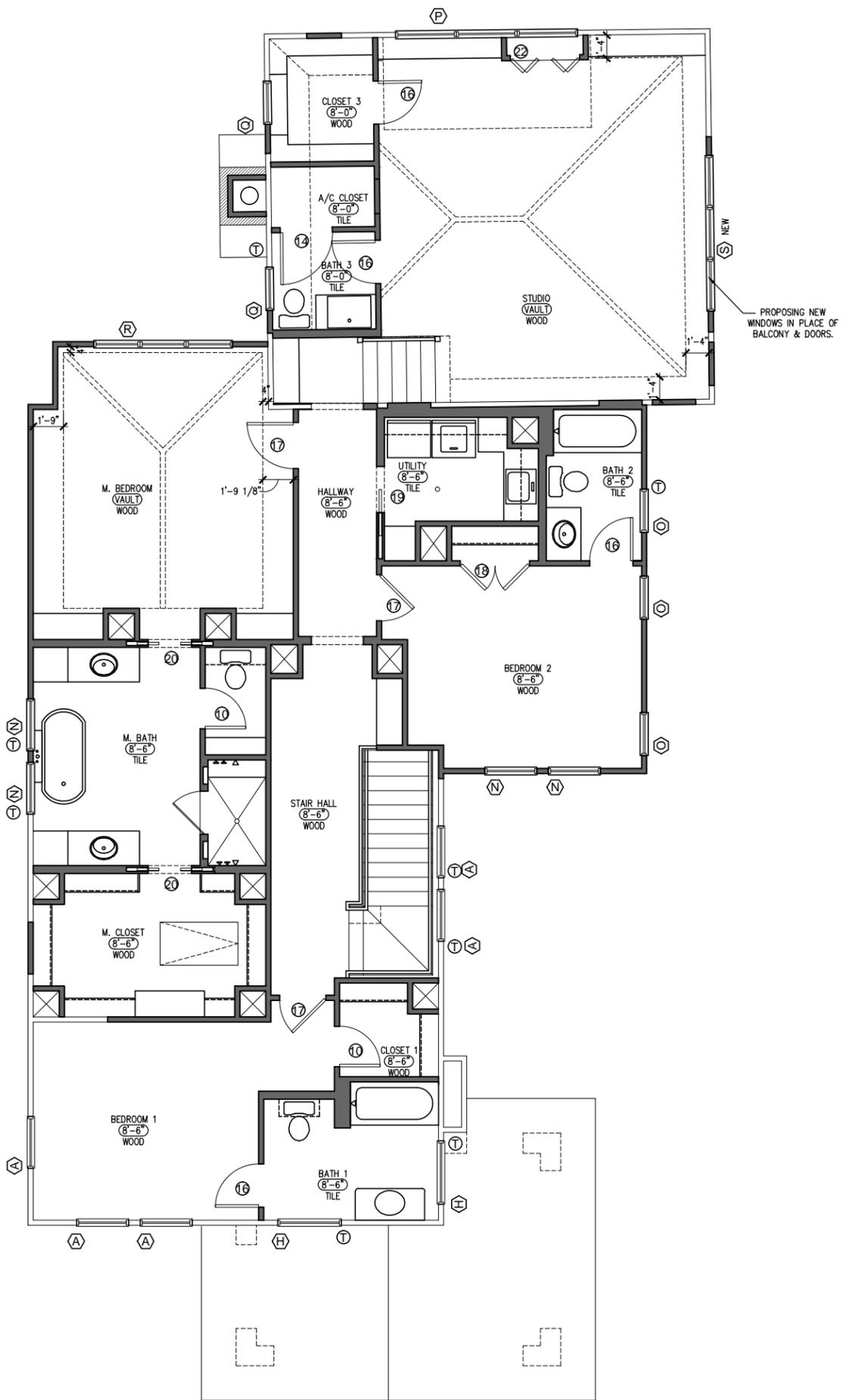
PROPOSED FIRST FLOOR

SCALE: 1/8" = 1'-0"

02.01.16

501 HIGHLAND
LIEBL RESIDENCE

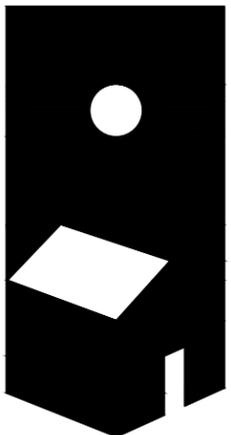
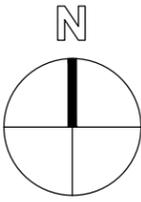




WALL LEGEND

— NEW WALLS
 --- EXISTING WALLS

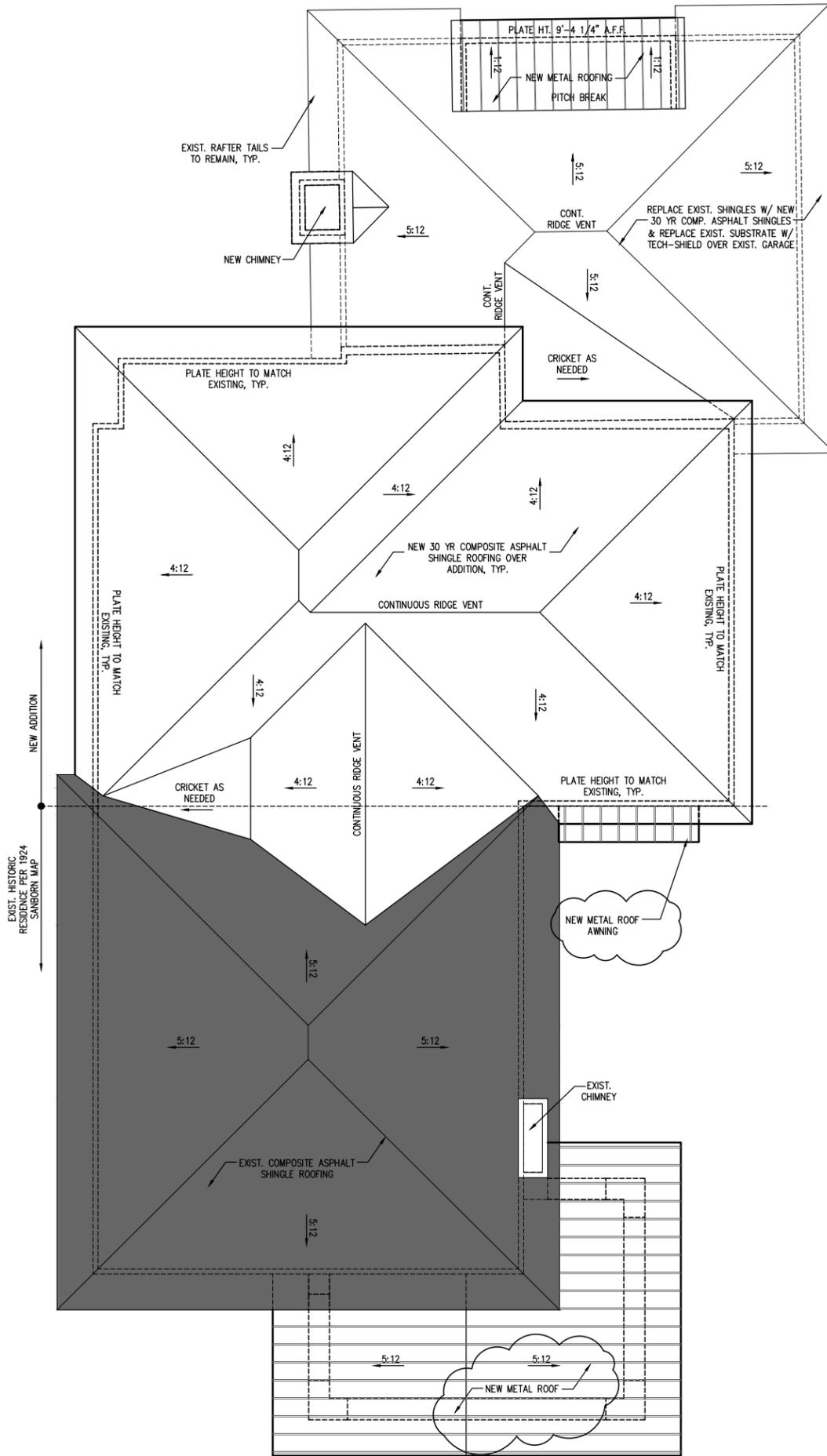
NOTE:
 REPAIR OR REPLACE EXISTING
 EXTERIOR DOORS, WINDOWS AND
 SIDING AS NEEDED (FIELD VERIFY)



PROPOSED SECOND FLOOR

SCALE: 1/8" = 1'-0"

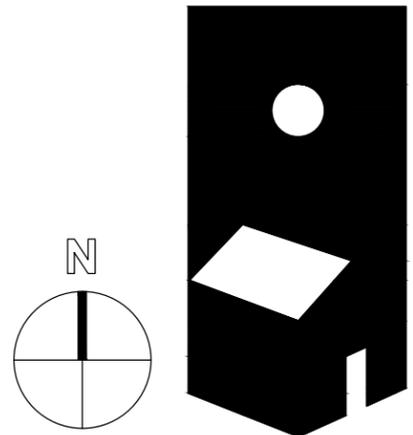
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501 HIGHLAND
 LIEBL RESIDENCE



ROOF LEGEND	
	NEW ROOF
	NEW METAL ROOF
	EXISTING ROOF

PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"

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501 HIGHLAND
LIEBL RESIDENCE



WINDOW SCHEDULE

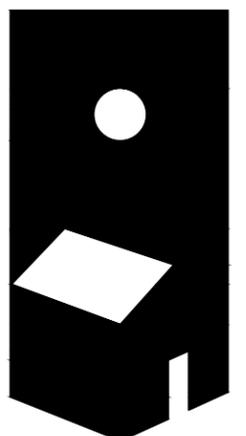
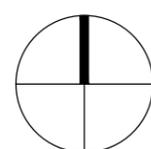
MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
Ⓐ	10	3'-0"	5'-6"	DOUBLE HUNG	2X4	EXISTING TO REMAIN (10), 2 TO BE REMOVED
Ⓑ	1	2'-9"	5'-0"	DOUBLE HUNG	2X4	EXISTING TO REMAIN
Ⓒ	1	3'-0"	2'-10"	SLIDE	2X4	EXISTING TO REMAIN
Ⓓ	1	3'-0"	2'-10"	DOUBLE HUNG	2X4	EXISTING TO REMAIN
Ⓔ	2	2'-10"	5'-0"	DOUBLE HUNG	2X4	EXISTING TO BE REMOVED
Ⓕ	1	3'-10"	3'-0"	DOUBLE HUNG	2X4	EXISTING TO BE REMOVED
Ⓖ	1	2'-6"	2'-6"	FIXED	2X4	EXISTING TO BE REMOVED
Ⓗ	2	3'-8"	5'-6"	DOUBLE HUNG	2X4	EXISTING TO REMAIN
Ⓘ	1	2'-4"	3'-10"	DOUBLE HUNG	2X4	EXISTING TO BE REMOVED
Ⓙ	1	3'-0"	3'-10"	DOUBLE HUNG	2X4	EXISTING TO BE REMOVED
Ⓚ	7	2'-6"	4'-9"	DOUBLE HUNG	2X4	EXISTING TO BE REMOVED
Ⓛ	2	2'-0"	2'-8"	DOUBLE HUNG	2X4	EXISTING TO BE REMOVED
Ⓜ	2	3'-0"	3'-6"	DOUBLE HUNG	2X4	NEW WOOD WINDOW
Ⓝ	6	3'-0"	5'-6"	DOUBLE HUNG	2X4	NEW WOOD WINDOW
Ⓞ	3	2'-0"	2'-8"	DOUBLE HUNG	2X4	NEW WOOD WINDOW
Ⓟ	1	(3)3'-6"	1'-6"	FIXED	2X4	NEW WOOD WINDOW
Ⓠ	2	2'-6"	3'-6"	FIXED	2X4	NEW IRON WINDOW (NOT VISIBLE FROM PUBLIC R.O.W.)
Ⓡ	1	(3)2'-8"	6'-0"	CASEMENT	2X4	NEW IRON WINDOW (NOT VISIBLE FROM PUBLIC R.O.W.)
Ⓢ	1	(3)3'-0"	5'-0"	CASEMENT	2X4	NEW ALUM. CLAD WOOD WINDOW

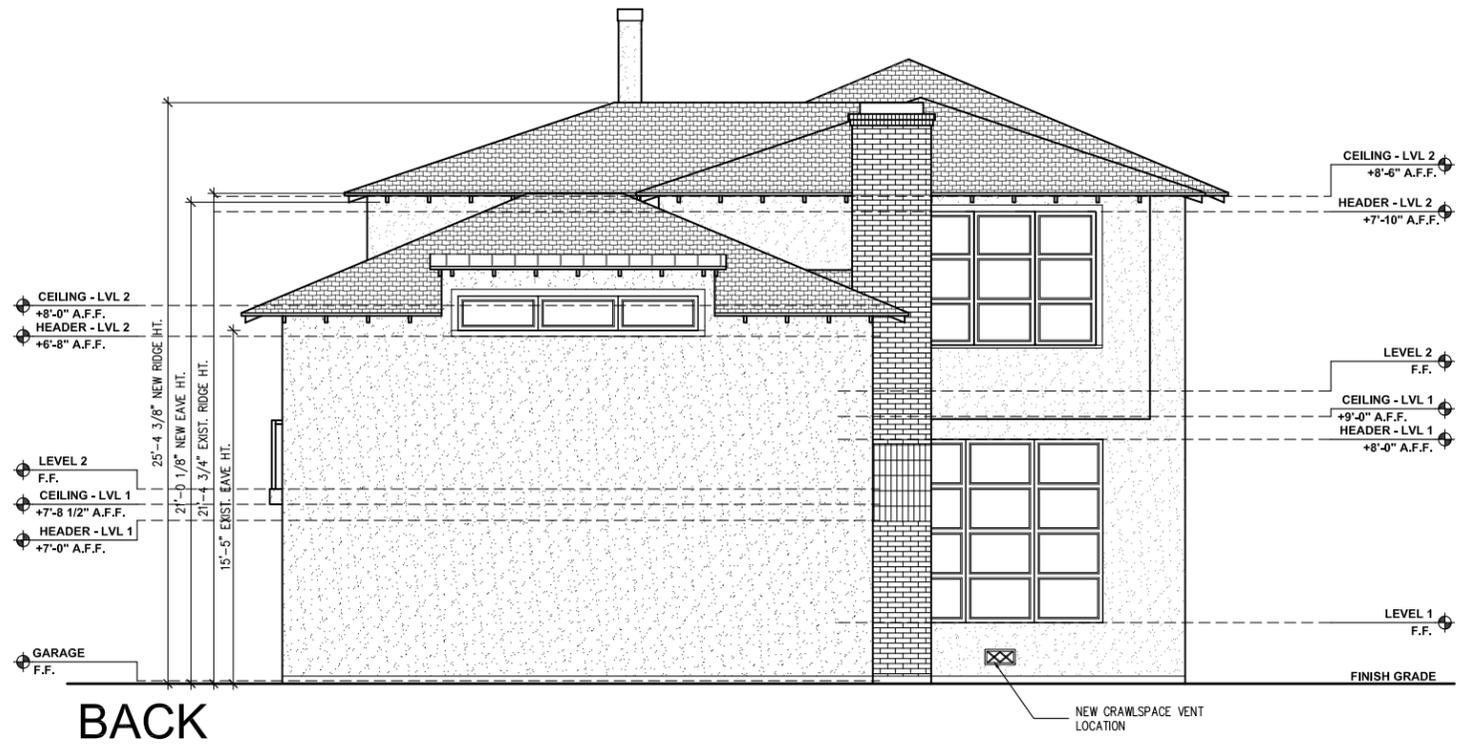
DOOR SCHEDULE

MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
①	1	3'-0"	7'-0"	EXTERIOR	2X4	EXISTING TO REMAIN. FOYER
②	4	2'-0"	6'-8"	INTERIOR	2X4	EXISTING TO BE REMOVED. DINING, BDRM 1, APT BATH
③	2	2'-8"	6'-8"	EXTERIOR	2X4	EXISTING TO BE REMOVED. KITCHEN, STORAGE
④	9	2'-8"	6'-8"	INTERIOR	2X4	EXISTING TO BE REMOVED. BDRM 1, BDRM 2, BDRM 3, BDRM 4, BATH 2, APT KITCHEN, GARAGE APT, APT VANITY
⑤	4	2'-6"	6'-8"	INTERIOR	2X4	EXISTING TO BE REMOVED. VANITY, BDRM 2, BDRM 3, BDRM 4
⑥	2	3'-0"	6'-8"	EXTERIOR	2X4	EXISTING TO BE REMOVED. BDRM 1, APT ENTRY
⑦	1	2'-6"	6'-8"	EXTERIOR	2X4	EXISTING TO BE REMOVED. WATER HEATER CLOSET
⑧	1	(2)2'-6"	6'-8"	INTERIOR	2X4	EXISTING TO BE REMOVED. BDRM 2
⑨	1	(2)2'-8"	6'-8"	INT. POCKET	2X6	NEW DOORS. STUDY
⑩	3	2'-4"	6'-8"	INTERIOR	2X4	NEW DOOR. POWDER, CLOSET 1, MASTER BATH
⑪	1	2'-8"	6'-8"	EXTERIOR	2X4	NEW DOOR. KITCHEN
⑫	1	(3)3'-0"	8'-0"	EXTERIOR	2X4	NEW IRON DOORS. FAMILY (NOT VISIBLE FROM PUBLIC R.O.W.)
⑬	2	2'-8"	6'-8"	EXTERIOR	2X4	NEW IRON DOOR. MUDROOM, PARTY/BAR (NOT VISIBLE FROM PUBLIC R.O.W.)
⑭	1	2'-0"	6'-8"	INTERIOR	2X4	NEW DOOR. A/C CLOSET
⑮	1	3'-0"	6'-8"	EXTERIOR	2X4	NEW 30 MIN FIRE RATED DOOR W/ SELF CLOSING HARDWARE. GARAGE
⑯	4	2'-6"	6'-8"	INTERIOR	2X4	NEW DOOR. BATH 1, BATH 2, BATH 3, CLOSET 3
⑰	3	2'-8"	6'-8"	INTERIOR	2X4	NEW DOOR. BEDROOM 1, BEDROOM 2, MASTER BEDROOM
⑱	1	(2)2'-0"	6'-8"	INTERIOR	2X4	NEW DOOR. BEDROOM 2
⑲	1	2'-8"	6'-8"	INT. POCKET	2X6	NEW DOOR. UTILITY
⑳	2	(2)1'-3"	6'-8"	INT. POCKET	2X6	NEW DOORS. MASTER BATHROOM
㉑	1	(2)2'-0"	6'-8"	EXTERIOR	2X4	NEW DOOR. STUDIO
㉒	1	2'-8"	6'-8"	INT. POCKET	2X4	NEW DOOR. FAMILY

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501 HIGHLAND
LIEBL RESIDENCE





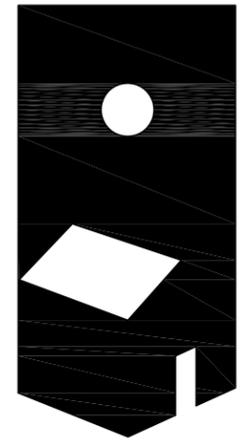
BACK



FRONT

PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"

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501 HIGHLAND
LIEBL RESIDENCE





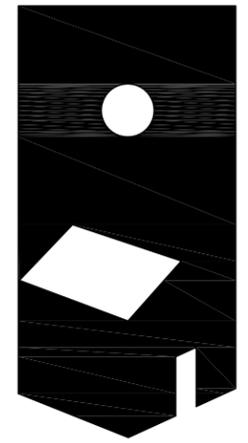
LEFT

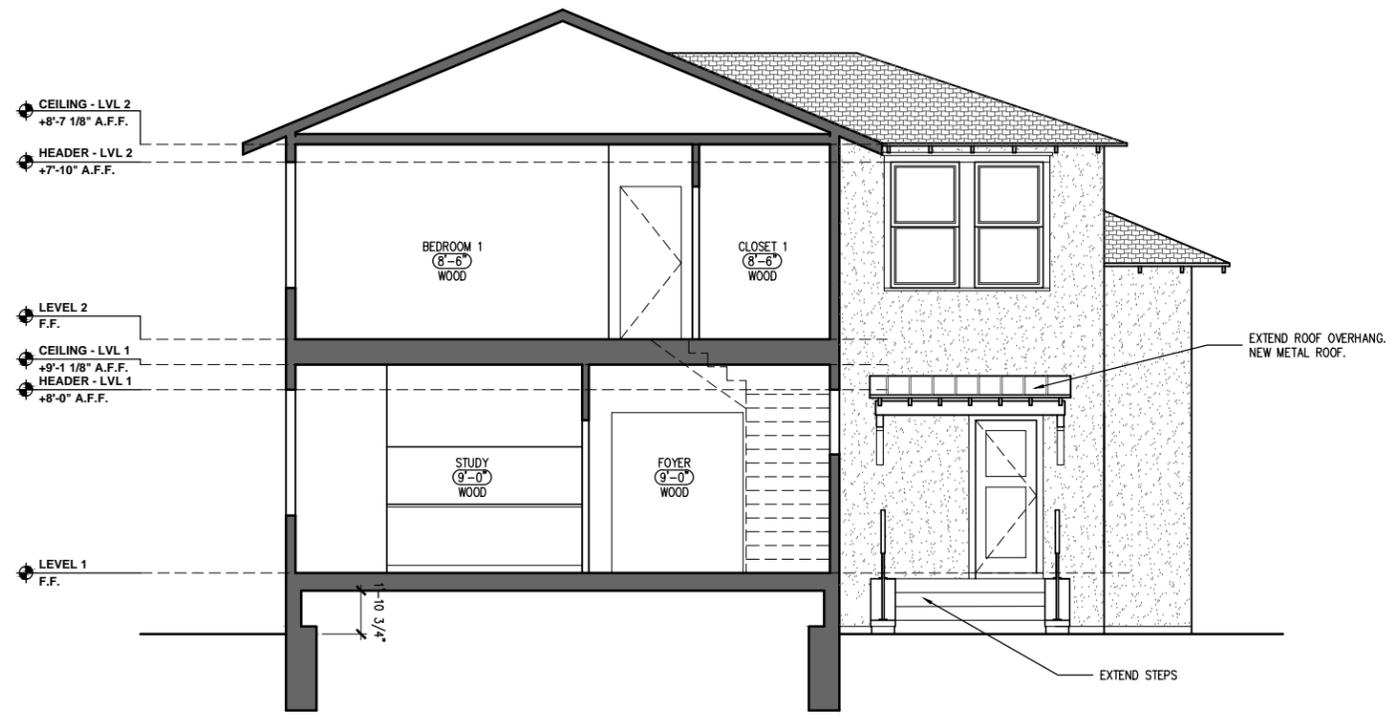


RIGHT

PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"

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SECTION LOOKING NORTH

