

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 1118 Tulane St. Houston, TX 77008
 Historic District / Landmark West-Houston Heights HCAD# 020200000026
 Subdivision Houston Heights Lot 26 + 27 Block 204

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Steven and Sherrie Robinson
 Company _____
 Mailing Address 2633 AZTEC CT
League City, TX 77573
 Phone 281.734.5847
 Email _____
 Signature [Signature]
 Date 12-29-2015

APPLICANT (if other than owner)

Name Kenneth Newberry, AIA
 Company Newberry Architects
 Mailing Address 6990 Portwest Ste. 190
Houston, TX 77024
 Phone 713.862.7992
 Email _____
 Signature [Signature]
 Date 01/04/2016

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

Written Description

- **Subject of Proposal:**
Amendment of the Certificate of Appropriateness for 1118 Tulane St.

- **Current Conditions:**
The current CoA allows the raising of the existing structure 11-3/4" to remedy the drainage issue under the house.

- **Proposed Amendments to the CoA:**
After the meeting on site with Pete Stockton, Matthew Kriegl, Insight Structures, Newberry Architects and Southern Green Builders several issues were discovered that were not addressed by the previous application.
 1. The existing slope of the lot is insufficient to get proper drainage under the house while conforming the city code regulating drainage away from structures and exposed concrete above grade. Those code requirements add 6" to the grade at the house and 6" to the height of the slab above grade. This will require the structure to be raised an additional 12" to compensate for these additional requirements; Re: SD001-003
 2. The existing concrete porch is cracked and not original to the house. We propose to replace it with a wood porch that is historically appropriate to the era.
 3. There is inadequate ventilation under the existing structure and we would like to increase the number of vents matching the existing from 5 to 12 to increase the air flow in the crawl space. Increasing the size of the retrofitted crawlspace vents on the original structure would allow for better airflow as well as access under the house for repairs and maintenance; Re: A2.0.1, A2.1.1 & A2.2.1
 4. A majority of the sill plates and studs are rotten and termite damaged and the roof framing is deflected and in poor condition. There are logistics, safety and liability concerns to supporting the existing roof framing while the wall framing is replaced, therefore, we would like permission to rebuild the structure of the building as a replica and re-clad with the historic stone façade. This will deliver the best building to the client while preserving the historic nature of the neighborhood; Re: Photo Exhibits



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PROJECT NUMBER: 14132

ROBINSON RESIDENCE
1118 TULANE
HOUSTON, TX. 77008

DATE ISSUED:

FOR CLIENT REVIEW	02/25/15
FOR HAHC REVIEW	04/01/15
FOR HAHC REVIEW	04/04/15
FOR HAHC REVIEW	04/09/15
FOR STRUCTURAL COORDINATION	05/22/15
FOR PERMIT AND CONSTRUCTION	06/26/15
FOR HAHC REVIEW	01/06/16

GENERAL NOTES:

1. RE: A011 GENERAL NOTES FOR TYPICAL EXTERIOR ELEVATION NOTES.

SHEET CONTENTS:

EXISTING
EXTERIOR
ELEVATIONS

DATE OF PLOT: 01/06/16

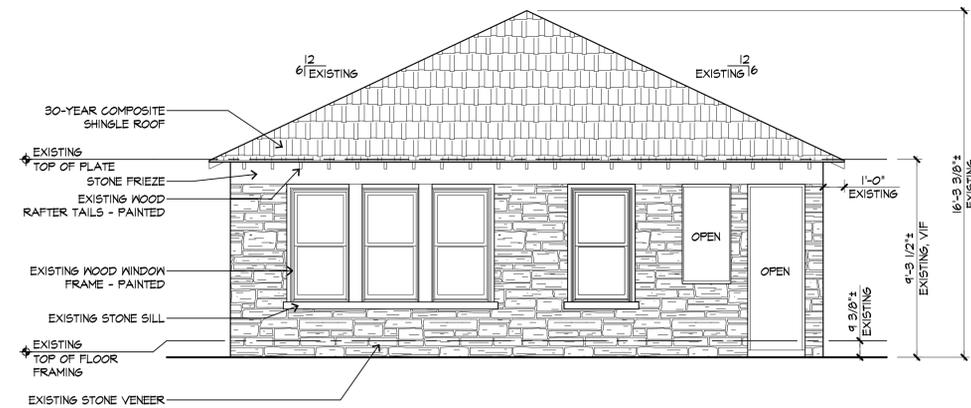
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CHECKED BY: JC

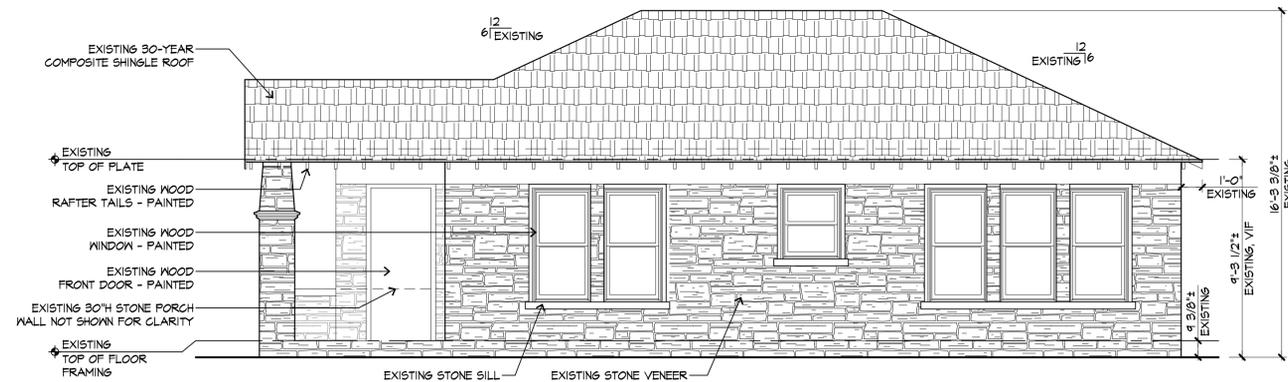
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SHEET:

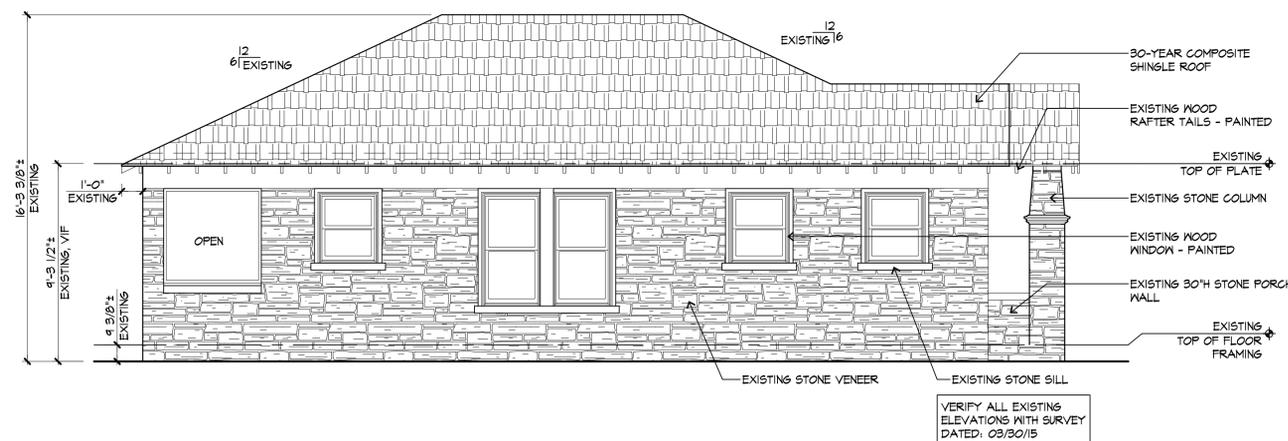
A2.0.1



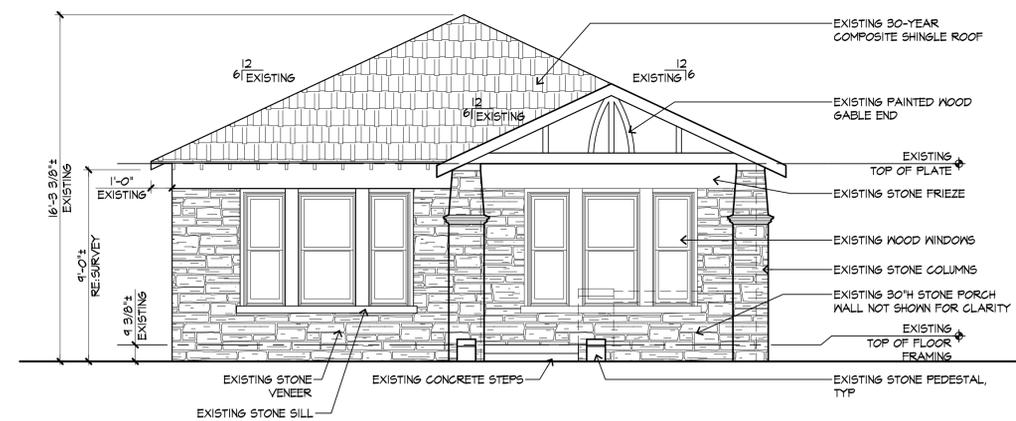
15 ELEVATION
1/4"=1'-0"



03 ELEVATION
1/4"=1'-0"



09 ELEVATION
1/4"=1'-0"



01 ELEVATION
1/4"=1'-0"



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PROJECT NUMBER: 14932

ROBINSON RESIDENCE
1118 TULLANE
HOUSTON, TX 77008

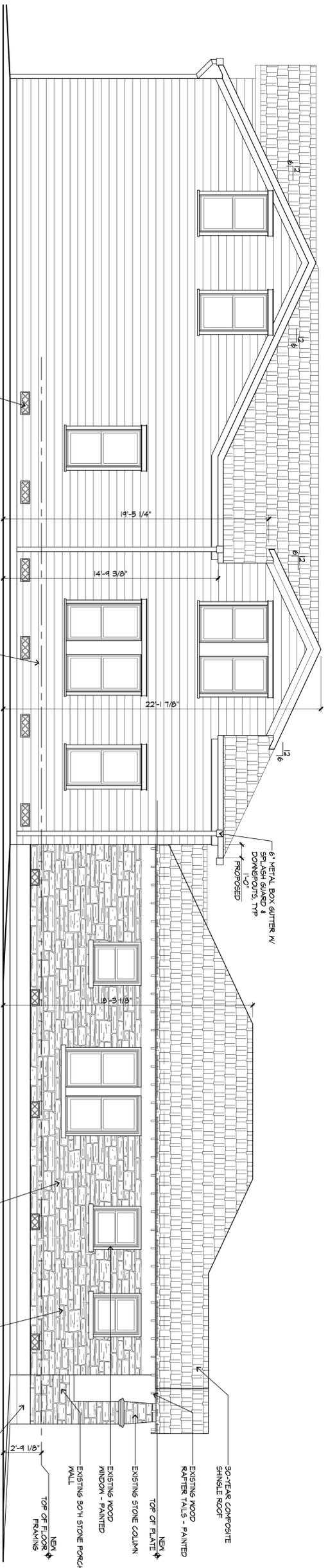
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FOR CLIENT REVIEW	02/25/15
FOR HARC REVIEW	04/01/15
FOR HARC REVIEW	04/09/15
FOR HARC REVIEW	04/21/15
FOR STRUCTURAL COORDINATION	05/22/15
FOR PERMIT AND CONSTRUCTION	06/26/15
FOR HARC REVIEW	01/06/16

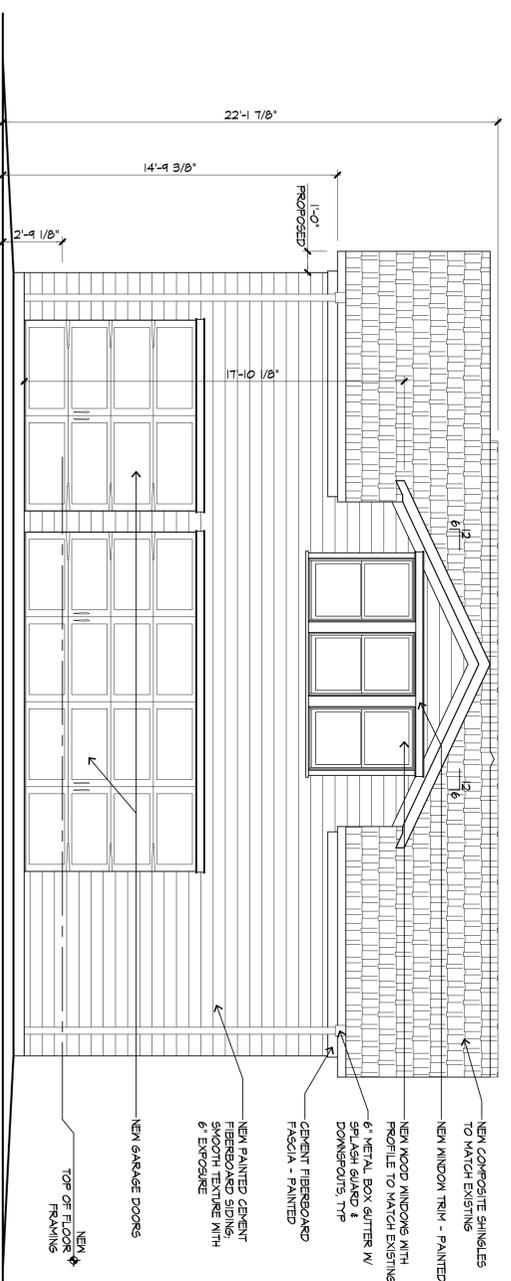
GENERAL NOTES:
1. RE: A011 GENERAL NOTES FOR TYPICAL EXTERIOR ELEVATION NOTES.

SHEET CONTENTS:
PROPOSED EXTERIOR ELEVATIONS

DATE OF PLOT: 01/06/16
DRAWN BY: MS
CHECKED BY: JC
FILE: F:\Robinson - 14132P
SHEET:



03
ELEVATION
1/4"=1'-0"



01
ELEVATION
1/4"=1'-0"

A2.2.1



Photo 1



Termite damage
detail from Photo 1

Photo 2



Photo 3



Photo 4



Live termites

Rotten floor framing
from Photo 4

Photo 5



Photo 6

Rotten floor framing
from Photo 4



Termite damage

Photo 7



Termite damage

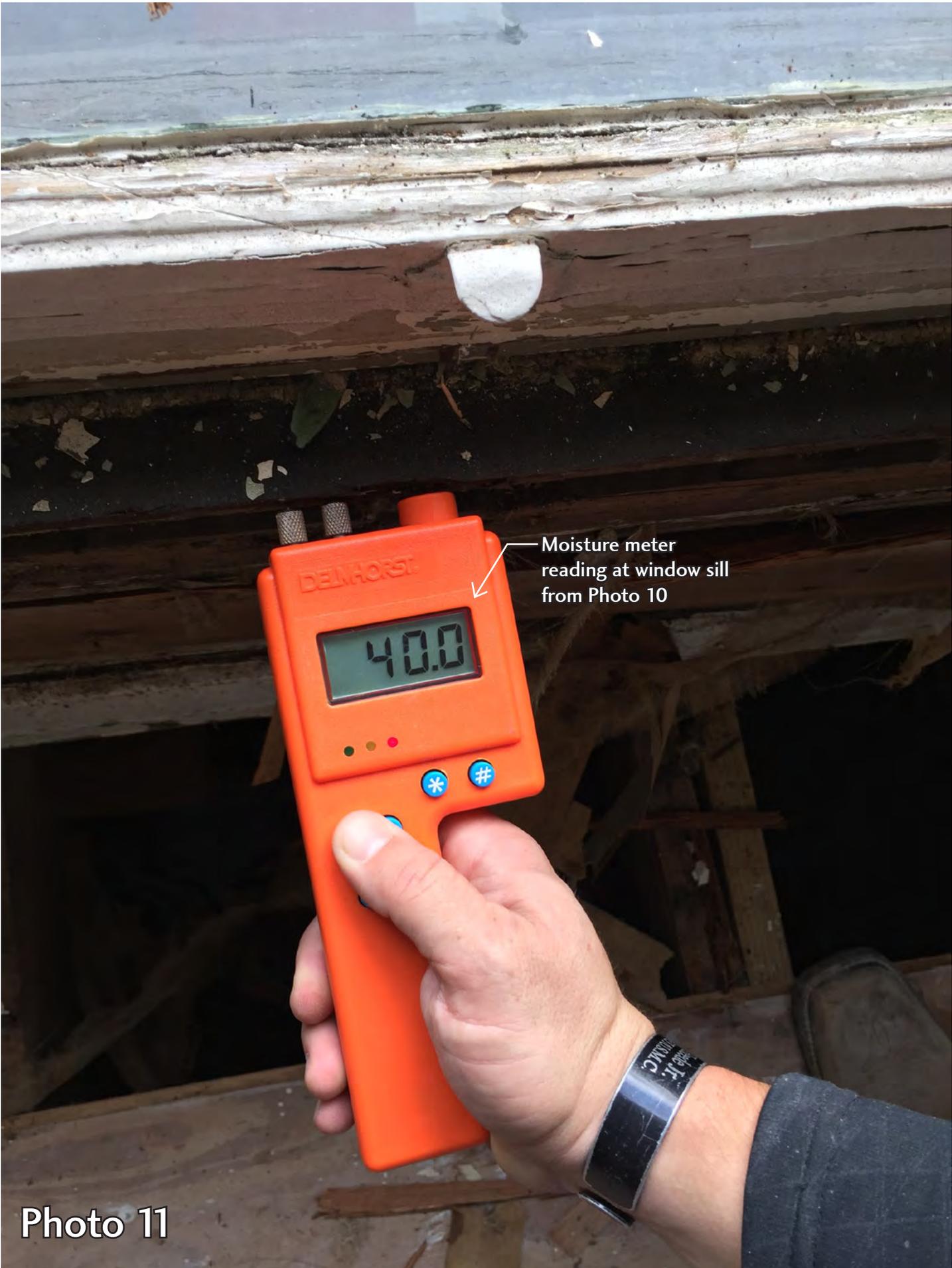
Photo 8



Photo 9



Photo 10



Moisture meter reading at window sill from Photo 10

Photo 11



Sagging
roof framing

Photo 12



Alternate view of roof sagging from photo 12

Photo 13



Photo 14



Alternate view of roof
sagging from
photo 14

Photo 15



Photo 16



Photo 17



Photo 16



Signs of chronic water penetration

Retrofitted roof framing support

Photo 17



Photo 18



Photo 19



Standing water under
center of the house

Photo 20



Water level is approximately
1/2" below the floor joist

Photo 21



Photo 1



Termite damage
detail from Photo 1

Photo 2



Photo 3



Photo 4



Live termites

Rotten floor framing
from Photo 4

Photo 5



Photo 6



Photo 7



Termite damage

Photo 8



Termite and water damage typical at window sills

Photo 9



Photo 10



Moisture meter reading at window sill from Photo 10

Photo 11



Sagging
roof framing

Photo 12



Alternate view of roof sagging from photo 12

Photo 13



Photo 14



Alternate view of roof
sagging from
photo 14

Photo 15



Photo 16



Retrofitted roof framing supports

Retrofitted roof framing supports

Photo 17



Photo 16



Signs of chronic water penetration

Retrofitted roof framing support

Photo 17



This can't be good

Photo 18



Signs of chronic water penetration and rot

Retrofitted roof framing support

Photo 19



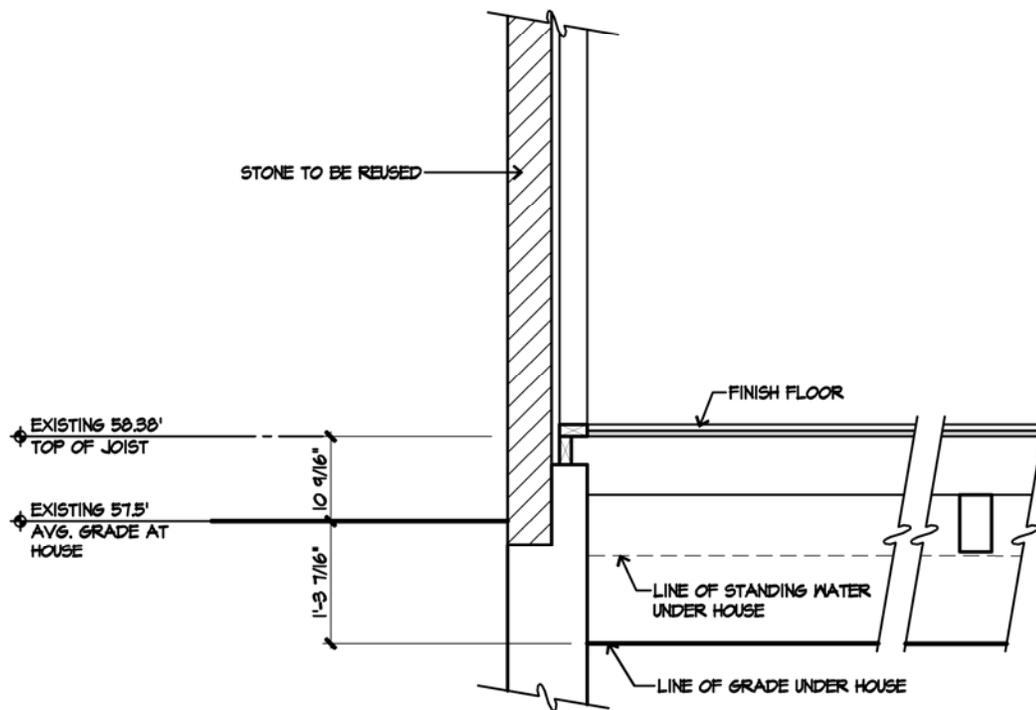
Standing water under
center of the house

Photo 20



Water level is approximately
1/2" below the floor joist

Photo 21



01 SECTION

1/2"=1'-0"

EXISTING
CRAWL SPACE CONDITION

PROJECT: 14132 - ROBINSON

DATE: 12/09/2015

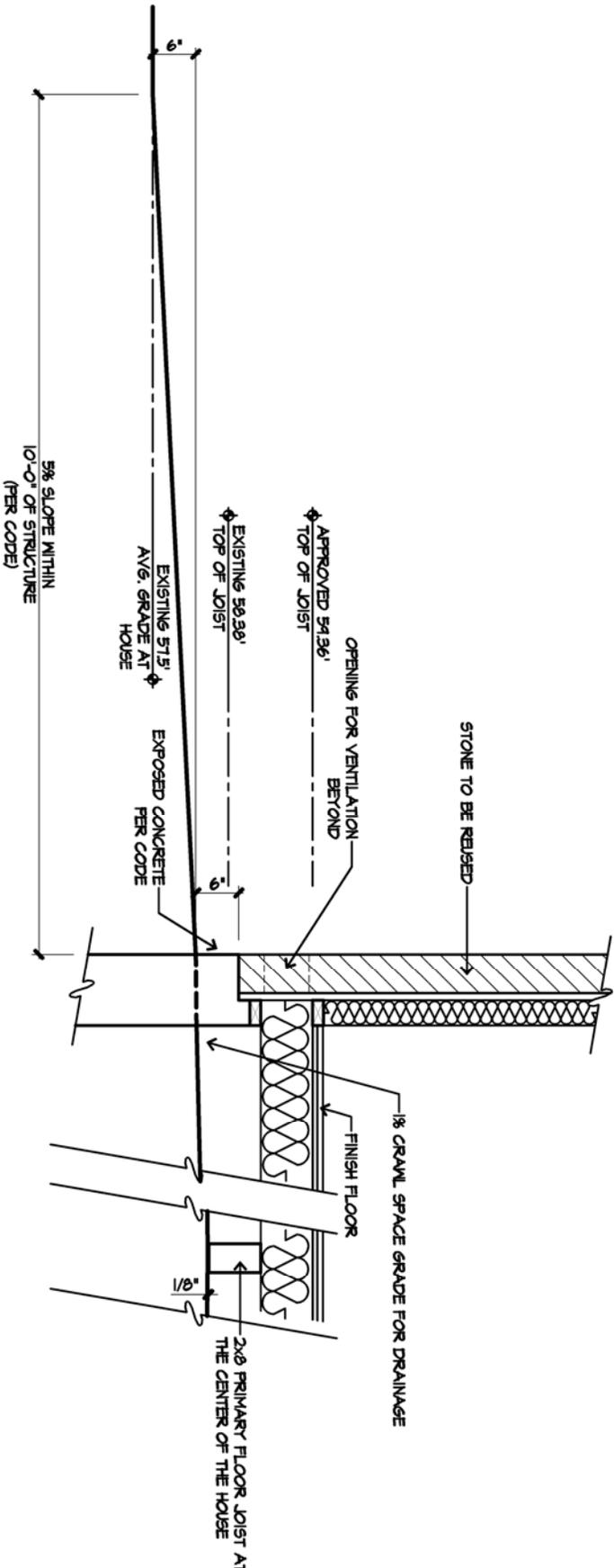
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SD-001



**APPROVED
CRAWL SPACE CONDITION**

01 SECTION
1/2"=1'-0"

PROJECT: 14132 - ROBINSON
DATE: 12/09/2015

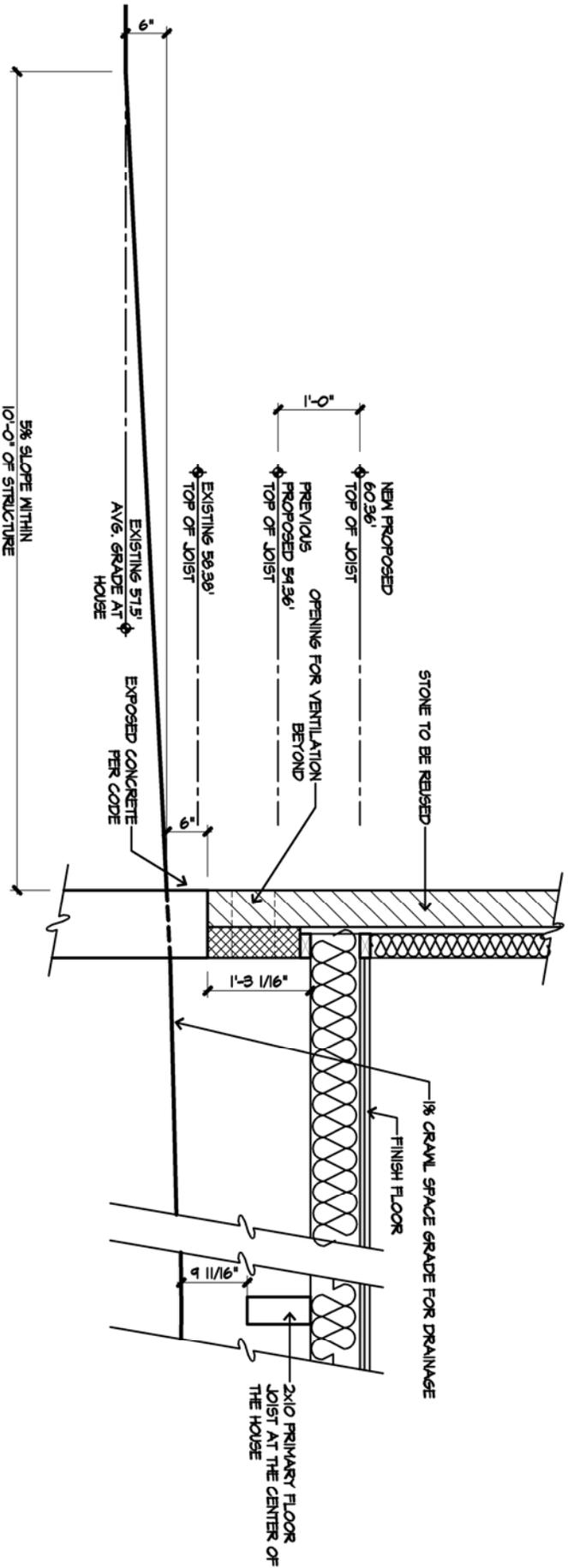
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SD-002



01 SECTION

1/2"=1'-0"

PROPOSED CRAWL SPACE CONDITION

PROJECT: 14132 - ROBINSON
 DATE: 12/09/2015

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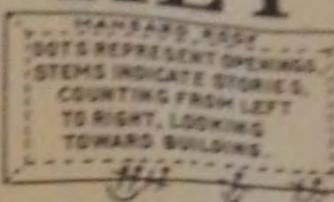
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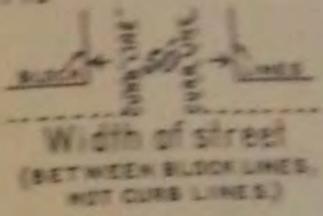
SD-003

KEY

	Fire proof construction. (OR FIRE RESISTIVE CONSTN)
	Adobe building.
	Stone building.
	Concrete, lime, cinder or cement brick
	Hollow concrete or cement block constn
	Concrete or reinforced concrete constn
	Tile building.
	Brick building with frame cornice.
	" " " stone front. " " " frame side (DIVIDED BY FRAME PARTITION)
	Brick veneered building.
	" and frame building.
	Frame building brick lined.
	" " metal clad.
	Iron building.
	Tenant building occupied by various manufacturing or occupancies
	Frame building covered with asbestos
	Brick building with brick or metal cornice.
	Fire wall 6 inches above roof.
	Wall without opening and size in inches.
	Opening with single iron or tin clad door.
	" " double iron " " doors.
	" " standard fire doors.
	Openings with wired glass doors.
	Drive or passage way.
	Stable.
	Auto. House or private garage.
	Solid brick with interior walls of C.B. or C.B. and brick mixed.
	Mixed construction of C.B. and brick with one wall of solid brick.
	Mixed construction of C.B. and brick with one wall faced with 4" brick.
	Mixed construction of C.B. and brick throughout.



- Window opening in first story.
- Window openings in second and third stories.
- Window openings in second and fourth stories.
- Windows with wired glass.
- Windows with iron or tin clad shutters.
- Window openings tenth to twenty-second stories.



- Open elevator.
- Frame enclosed elevator.
- " " " with traps.
- " " " self closing traps.
- Concrete block enclosed elevator with traps.
- Tile enclosed elevator with self closing traps.
- Brick enclosed elev. with wired glass door.

- Iron chimney
- " WITH SMOKE ARRESTOR
- Brick chimney.

5 Block number.

Vertical steam boiler.

Vertical pipe or stand pipe.

Gasoline tank.

Automatic fire alarm.

Open under.

Independent electric plant.

Siamese fire dept. connection

Automatic sprinklers.

Single fire dept. connection

Automatic chemical sprinklers.

Automatic sprinklers in part of building only.
(NOTE UNDER SYMBOL INDICATES PROTECTED PORTION OF BUILDING)

Not sprinklered.

24 Reference to adjoining page.

Outside vertical pipe on fire escape.

+ Fire engine house, as shown on key map.

Fire alarm box.

Fire pump.

Single hydrant. **(36)** Under page number refers to corresponding page of previous edition.

Double " "

Triple " "

Quadruple hydrant of the "High Pressure Fire Service"

Fire alarm box of the "High Pressure Fire Service"

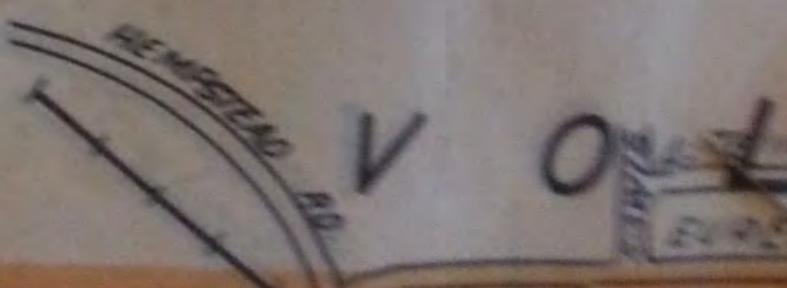
Water pipes of the "High Pressure Fire Service" and hydrants of the "High Pressure Fire Service" as shown on key map.

Water pipes and size in inches.

Water pipes of private supply

House numbers shown nearest to buildings are official or actually up on buildings.

Old house numbers shown furthest from buildings.





1105

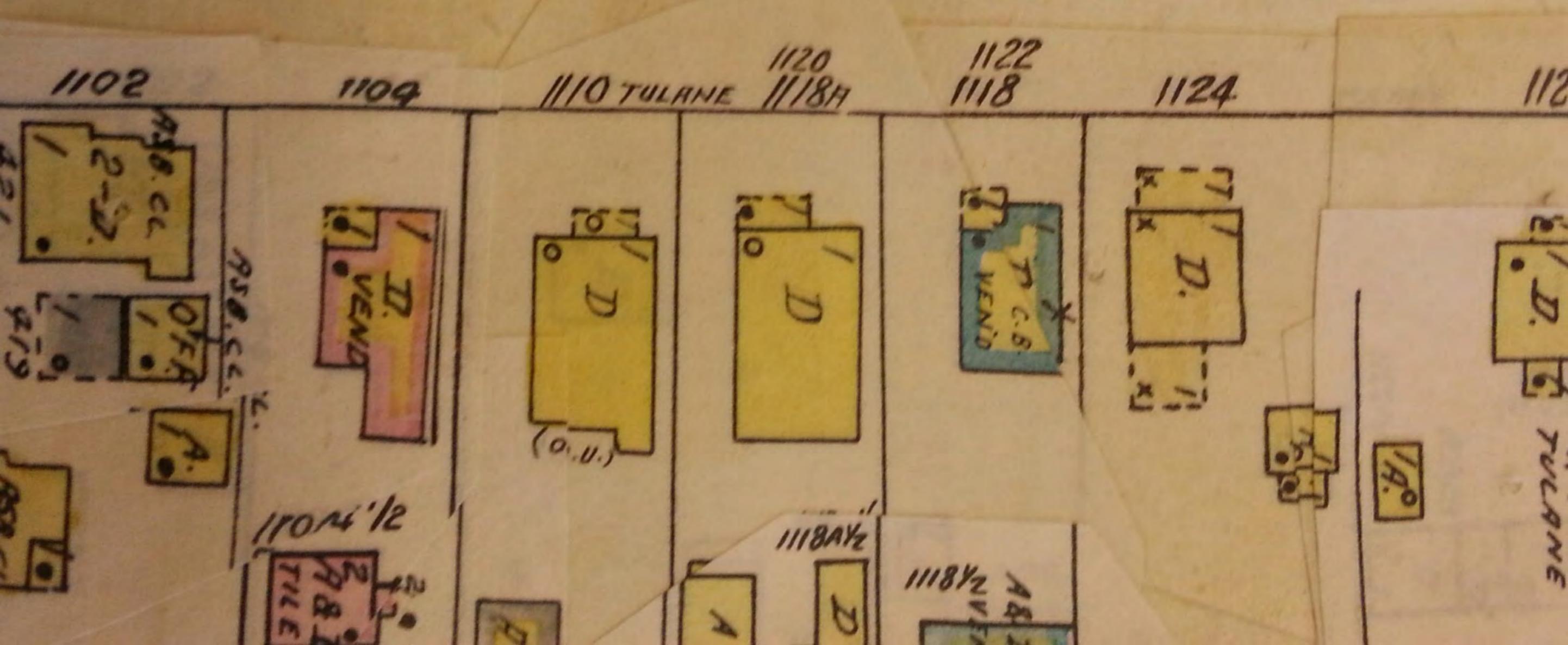
1107

1111

1113

1117
TULANE

1127



1102

1109

1110 TULANE

1120
1118A

1122
1118

1124

112

TULANE

1104 1/2
TILE

1A.

1118 1/2
VEND

1118 1/2
VEND

ASSO. CC.
2-5-D.

ASSO. CC.

D.
VEND.

D.

D.

C.B.
VEND.

D.

D.