

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 1134 Columbia
Historic District / Landmark HOUSTON HEIGHTS EAST HCAD # 0201920000021
Subdivision HOUSTON HEIGHTS Lot 21 Block 196

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name RAYMOND + ANNE COLOPEN
Company _____
Mailing Address 1134 Columbia St.
Houston, TX 77008
Phone 713.299.9387
Email [REDACTED]
Signature [Signature]
Date 1-4-16

APPLICANT (if other than owner)

Name ALYSON R. PROGHAY
Company BRICKMAN DESIGN
Mailing Address 1438 Campbell Rd #202
Houston, TX 77055
Phone 713.505.3367
Email [REDACTED]
Signature [Signature]
Date 1-4-16

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 1134 Columbia

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input checked="" type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS

 label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS

 scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|---|---|
| <input checked="" type="checkbox"/> current site plan | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> current roof plan |
| <input checked="" type="checkbox"/> current floor plans | <input checked="" type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> current window and door schedule | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight |

ADDITION WORKSHEET ~ 1134 COLUMBIA

	EXISTING	CHANGES TO EXISTING	PROPOSED ADDITION
STORIES	1		2
SQUARE FOOTAGE			
CONDITIONED	1,134	∅	2,699
UNCONDITIONED	119	∅	803
SETBACKS*	N: 11'3" E: 71'7" S: 10'4" W: 14'2"	N: E: S: W:	N: 8'2" E: 3'2" S: 2'2" W: 14'2"
HEIGHTS			
Ridge	23'2 1/4"	—	27'5 3/4"
Eave	11'7"	—	20'9 1/4"
FOOTPRINT			
MAX WIDTH	28'-1"	—	33'-8"
MAX DEPTH	46'-1 1/2"	—	68'-6 3/4"
ENCROACHMENT			
FOUNDATION			
Height to FF	2'-10" (58.9 USGS)	—	5" +/-
Type	Pier + Beam	—	CONC. SLAB
Material	Hous	—	CONC.
CLADDING			
Material	Hous Siding / Stucco		CEMENT SIDING
Reveal/Brick Info	117		7"
PORCH			
Eave Height	11'7"	—	11'2 3/4"
Width	14'7"	—	26'3 1/4"
Depth	8'4"	—	12'-0"
Material	Hous	—	CONC.
Column Style	Tapered	—	STRAIGHT
Column Dimensions	9x9	—	12x12
ROOF			
Style	Hip / Gable	—	Hip / Gable / Shed
Pitch	9/12	—	7:12 / 6:12
Material	Asphalt Shingle	—	Asphalt Shingle
Eave Design	Open Tail	—	Closed Soffit
Eave Overhang	15"	—	12" / 16"
WINDOWS			

-- SEE WINDOWS WORKSHEET --

IMPORTANT NOTES:

* Setbacks measured from property line to nearest point of structure

- All required information on worksheet must be indicated on drawings
- All drawings must be fully dimensioned
- All elevations must be fully dimensioned from existing natural grade
- Existing natural grade is 0'-00"
- Specify the height of the existing natural grade relative to a fixed point in the right of way (i.e.: crown of the street or manhole cover)

Failure to include requested information may result in an incomplete application and a delay in the approval of the proposed project

Notes:



brickmoon
DESIGN

To: Houston Archaeological and Historical Commission

From: Brickmoon Design

Date: January 6, 2016

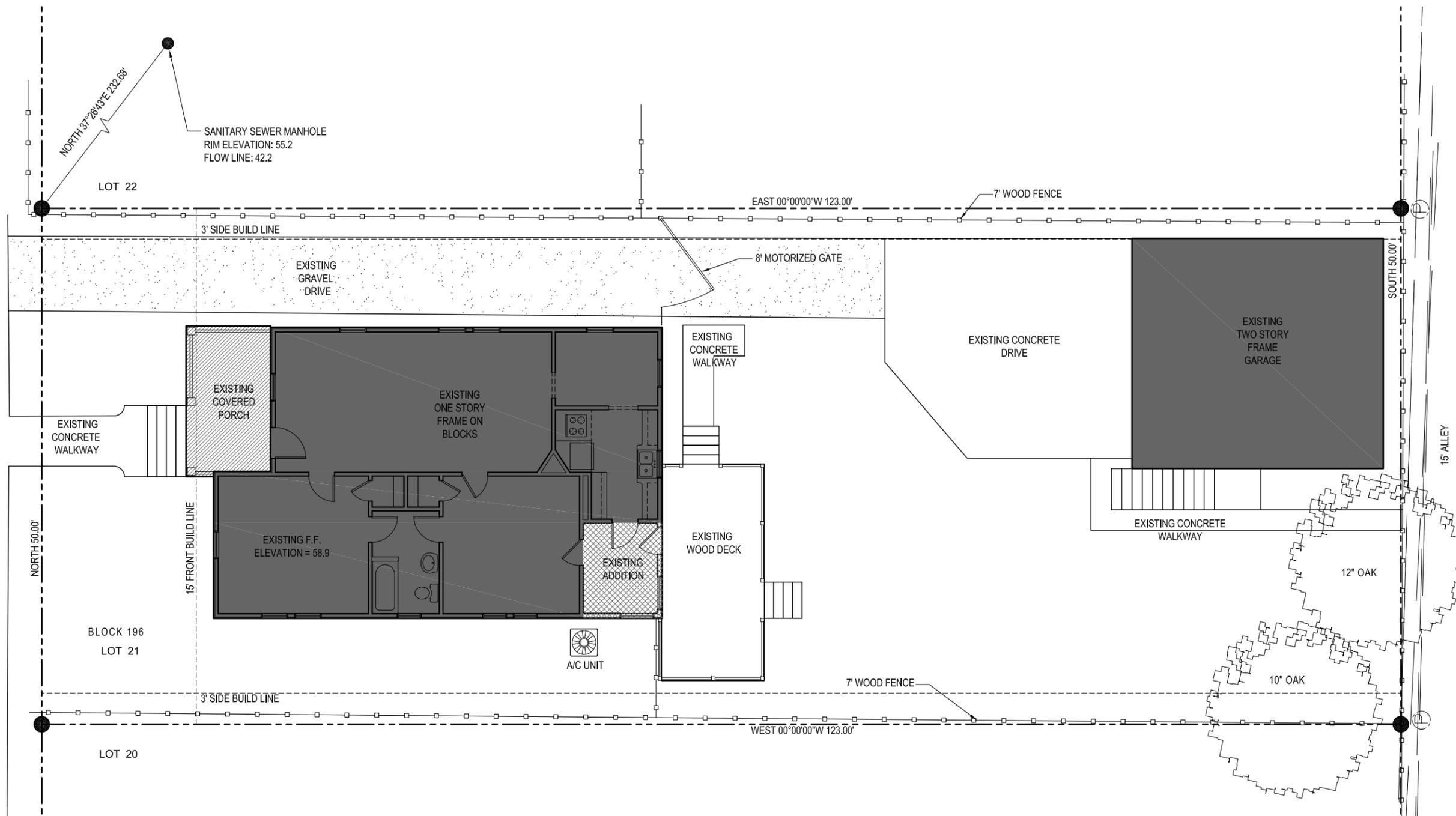
Subject: COA Application – 1134 Columbia St. Description

This proposal is for an addition to an existing one story contributing structure. The existing structure is 1,134 SF which includes an addition in the Southeast corner that is not original to the house. The finish floor of the existing structure is 2'-10" above the existing grade at the front of the house. The existing eave height is 11'-7" above grade and the existing ridge height is at 23'-2" above grade.

The proposed addition consists of 1,512 SF on the lower level and 1,187 SF on the upper level. The addition is positioned substantially behind the existing structure, projecting to the North by 3' 4-1/2" at a point 81'-6" behind the front of the existing structure. The addition projects to South by 7' 2-1/2" at a point 47'-5" behind the front of the existing house. The projections to both the North and South are single story elements with the two story portion of the addition located entirely behind the existing structure.

The proposed addition has a slab foundation 5" above the existing grade. This reduces the overall height of the addition and results in a maximum eave height of 20'-9" and a maximum ridge height of 27' 5-3/4". The addition will be clad in cementitious siding with a 7" reveal. The roof form is a predominant hip of a lesser pitch than that of the existing structure.

1134 & 1136 COLUMBIA STREET
70' R.O.W.



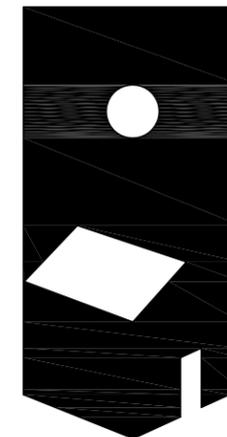
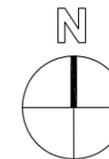
EXISTING SITE PLAN

LEGEND

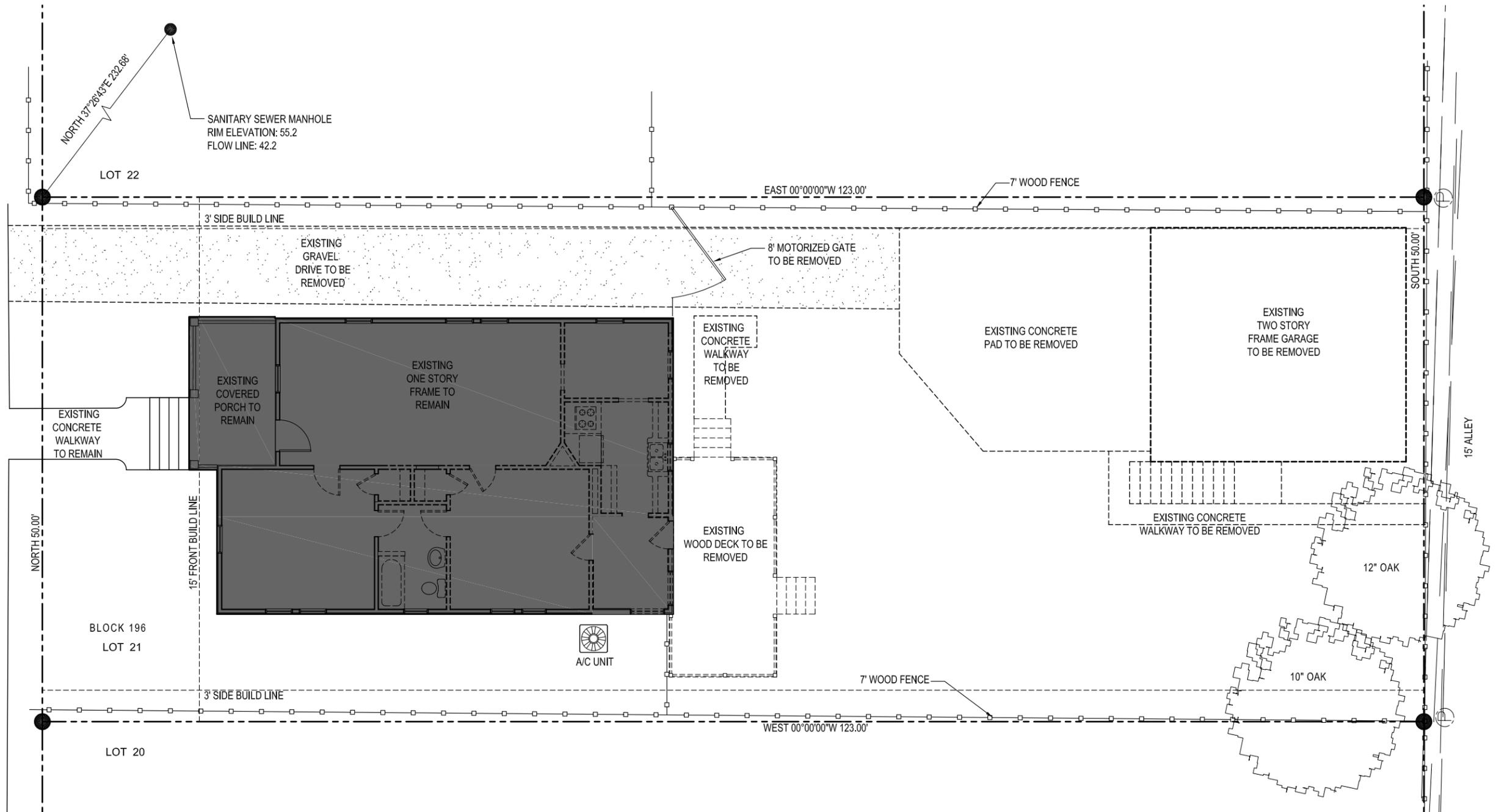
	EXISTING RESIDENCE
	EXISTING COVERED AREA
	EXISTING ADDITION

EXISTING SITE PLAN
SCALE: 3/32" - 1'-0"

01.06.16
1134 COLUMBIA
COLDREN RESIDENCE



1134 & 1136 COLUMBIA STREET
70' R.O.W.



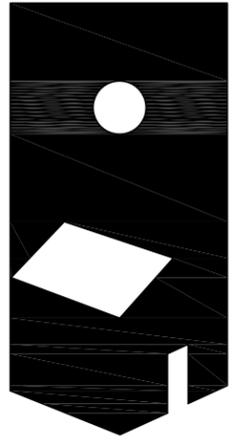
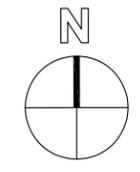
LEGEND

— EXISTING TO REMAIN

- - - DEMO

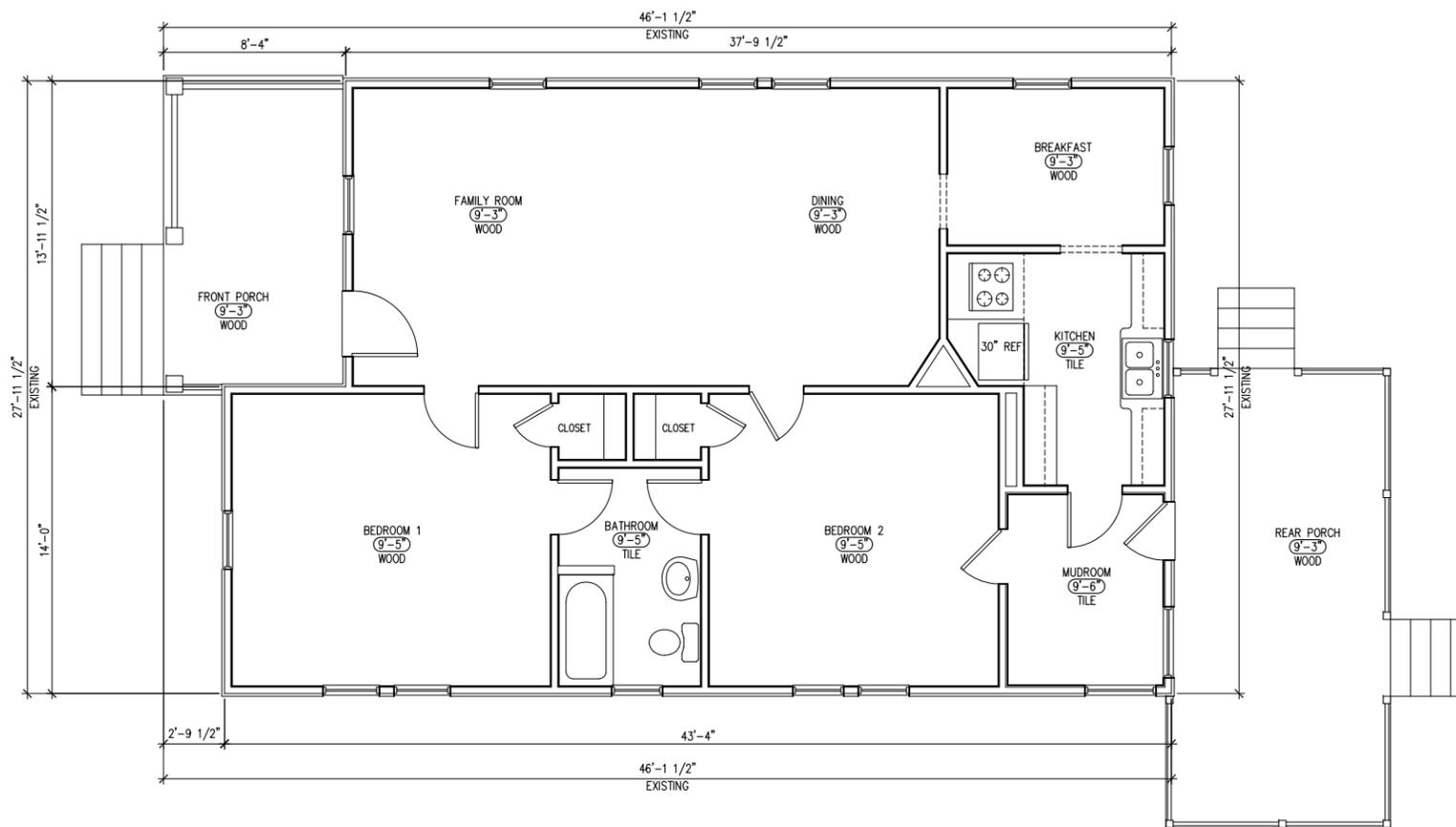
▬ EXISTING FOUNDATION, EXTERIOR WALLS & FOUNDATION TO REMAIN

NOTE:
CONTRACTOR TO FIELD VERIFY THE EXTENT OF DEMO AS IT PERTAINS TO CONSTRUCTABILITY. REPAIR OR REPLACE ALL EXISTING WINDOWS AS NEEDED (V.I.F.)



DEMOLITION SITE PLAN
SCALE: 3/32" - 1'-0"

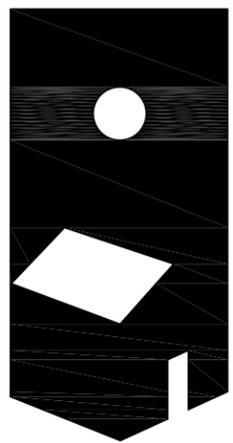
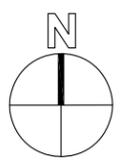
01.06.16
1134 COLUMBIA
COLDREN RESIDENCE

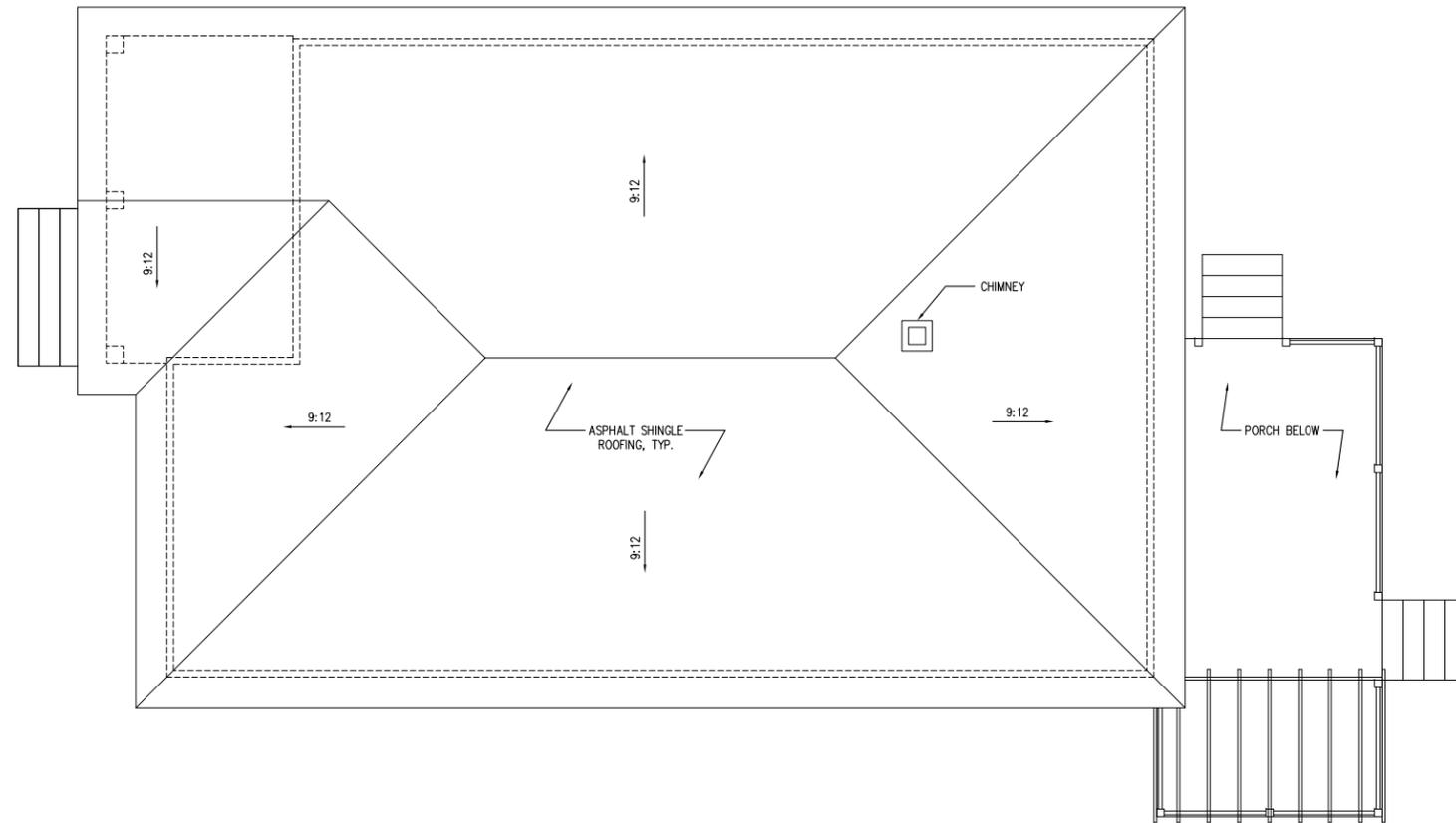


EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

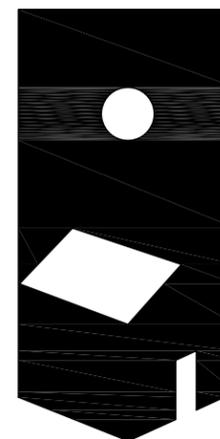
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1134 COLUMBIA
 COLDREN RESIDENCE

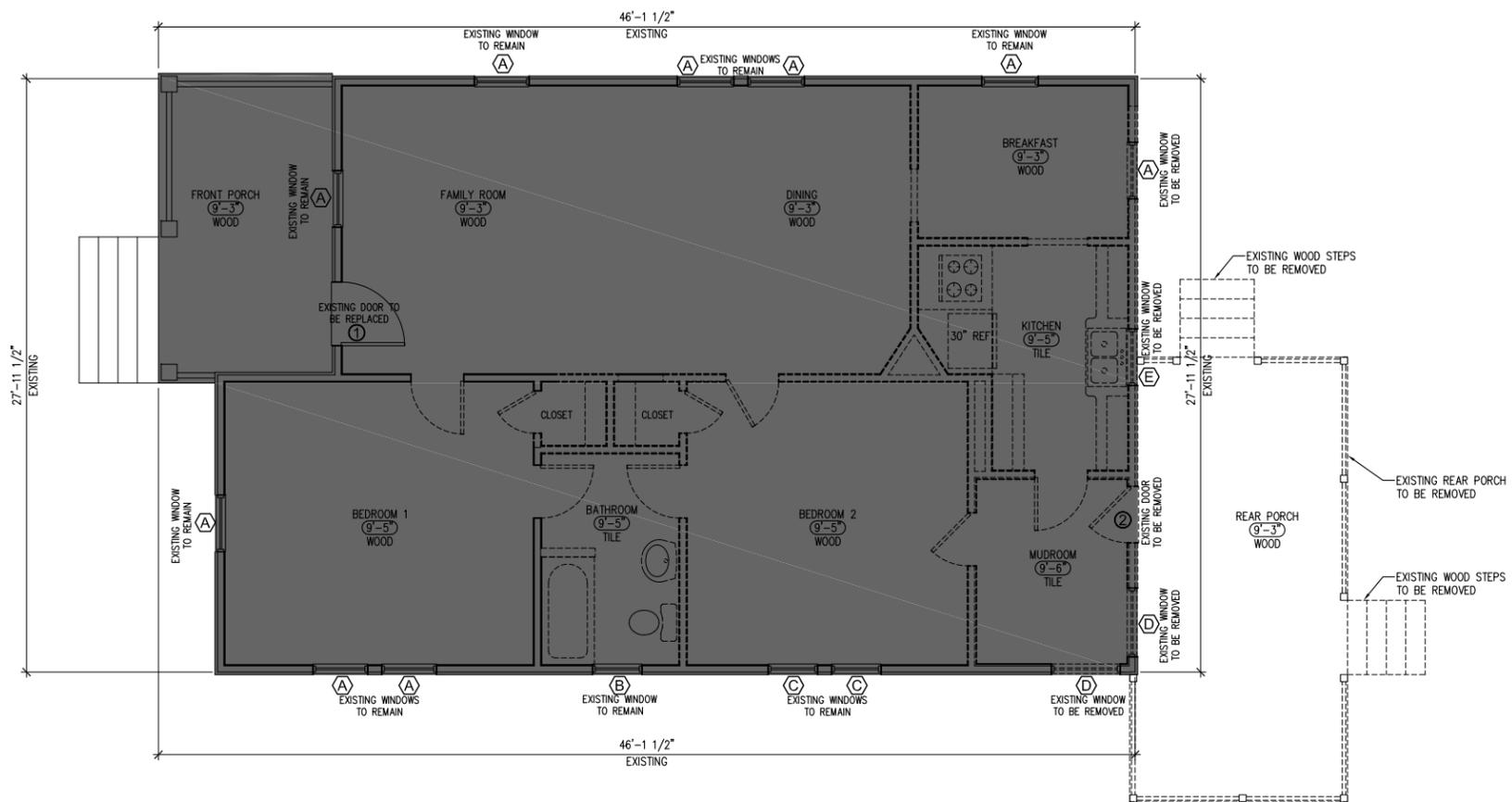




EXISTING ROOF PLAN
 SCALE: 1/8" - 1'-0"

01.06.16
1134 COLUMBIA
 COLDREN RESIDENCE





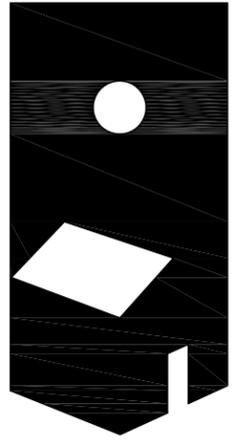
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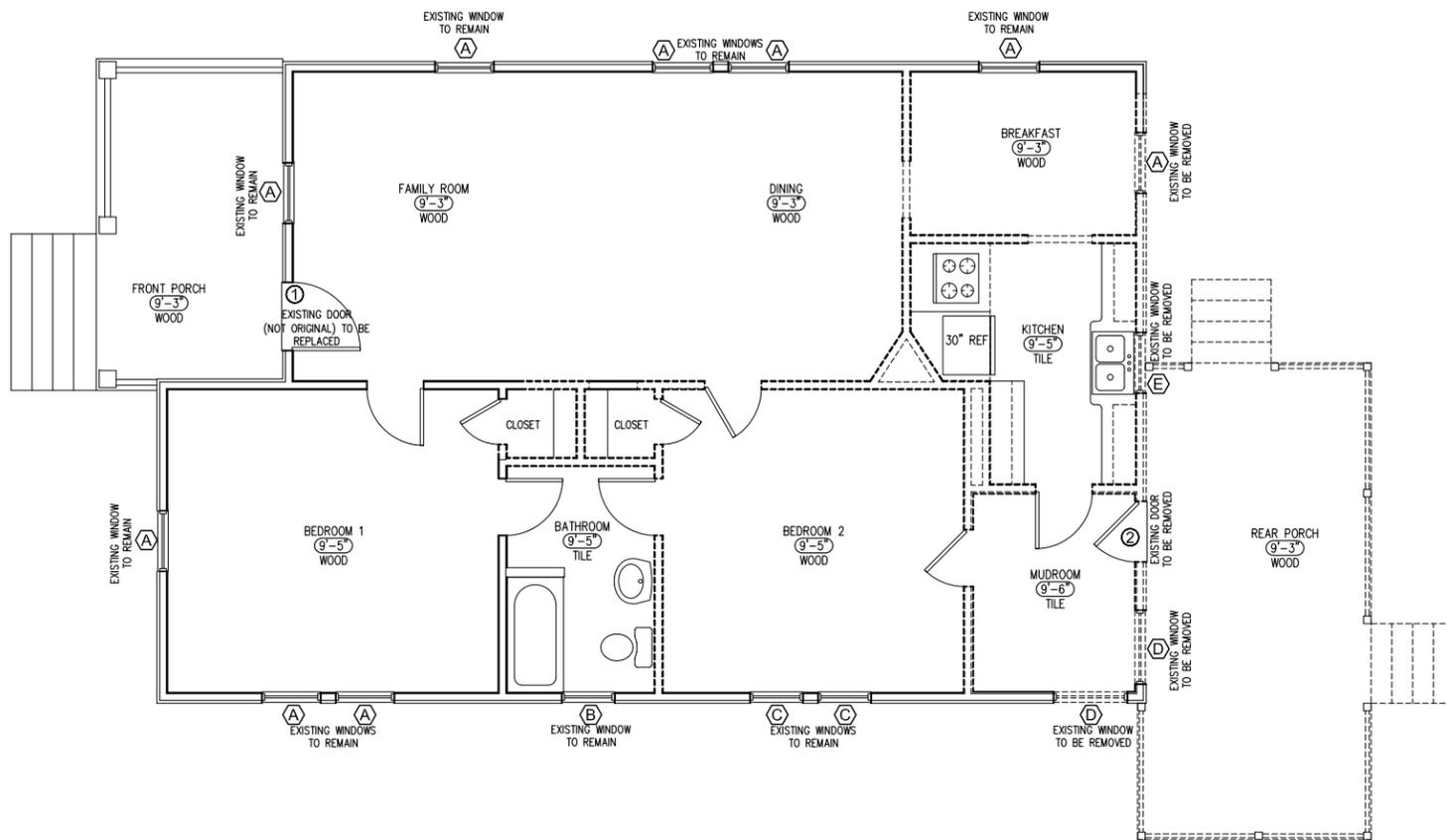
- EXISTING TO REMAIN
- DEMO
- ▬ EXISTING FOUNDATION, EXTERIOR WALLS & FOUNDATION TO REMAIN

NOTE:
CONTRACTOR TO FIELD VERIFY THE EXTENT OF DEMO AS IT PERTAINS TO CONSTRUCTABILITY. REPAIR OR REPLACE ALL EXISTING WINDOWS AS NEEDED (V.I.F.)

DEMOLITION PLAN
SCALE: 1/8" - 1'-0"

01.06.16
1134 COLUMBIA
COLDREN RESIDENCE





FRONT



FRONT DOOR



FRONT PORCH



REAR



REAR DOOR

EXISTING WINDOW SCHEDULE						
MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(A)	9	2'-8"	5'-8"	DOUBLE HUNG	2X4	EXISTING WINDOWS (ONE TO BE REMOVED, RE-PLAN)
(B)	1	2'-4"	3'-0"	FIXED	2X4	EXISTING WINDOWS
(C)	2	2'-4"	4'-2"	DOUBLE HUNG	2X4	EXISTING WINDOWS
(D)	2	3'-3"	6'-0"	FIXED	2X4	EXISTING WINDOWS TO BE REMOVED
(E)	1	2'-8"	4'-0"	DOUBLE HUNG	2X4	EXISTING WINDOWS TO BE REMOVED
EXISTING DOOR SCHEDULE						
MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
(1)	1	3'-0"	6'-8"	EXTERIOR	2X4	NOT ORIGINAL; TO BE REPLACED
(2)	1	2'-8"	6'-8"	EXTERIOR	2X4	TO BE REMOVED

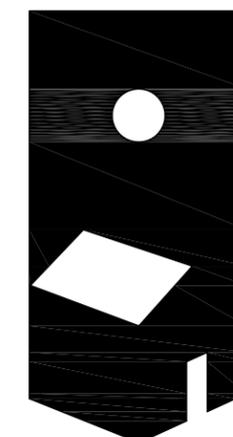
DEMOLITION PLAN

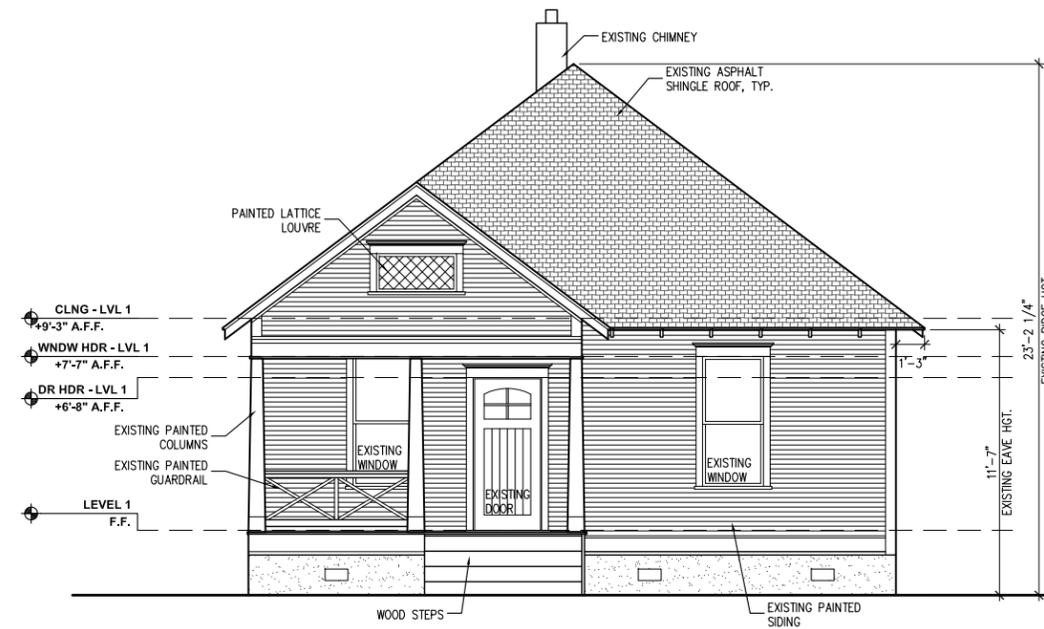
SCALE: 1/8" = 1'-0"

01.06.16

1134 COLUMBIA

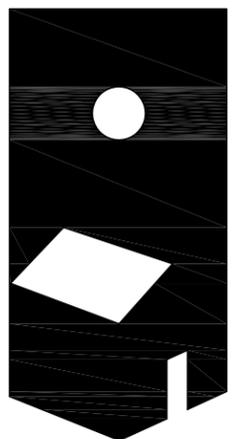
COLDREN RESIDENCE

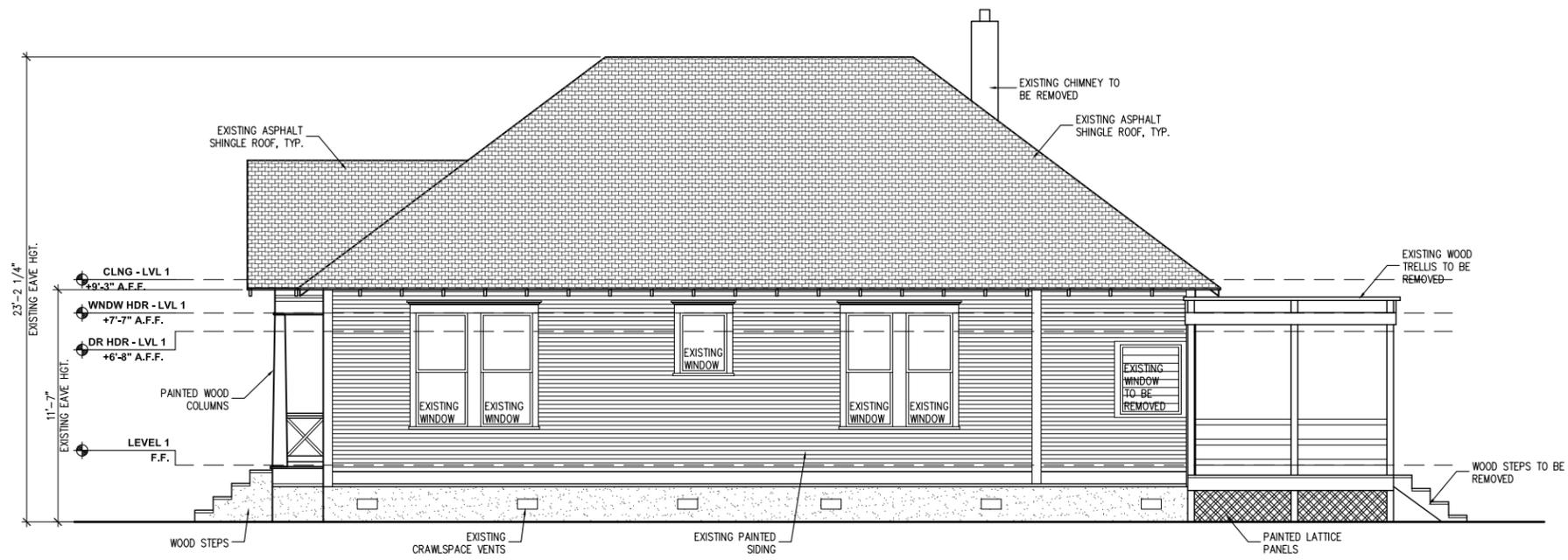




FRONT ELEVATION
SCALE: 1/8" - 1'-0"

01.06.16
1134 COLUMBIA
COLDREN RESIDENCE

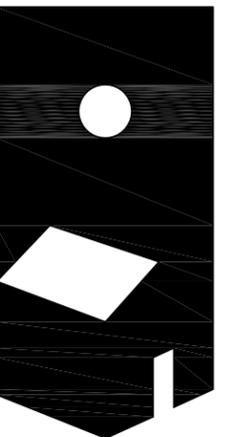


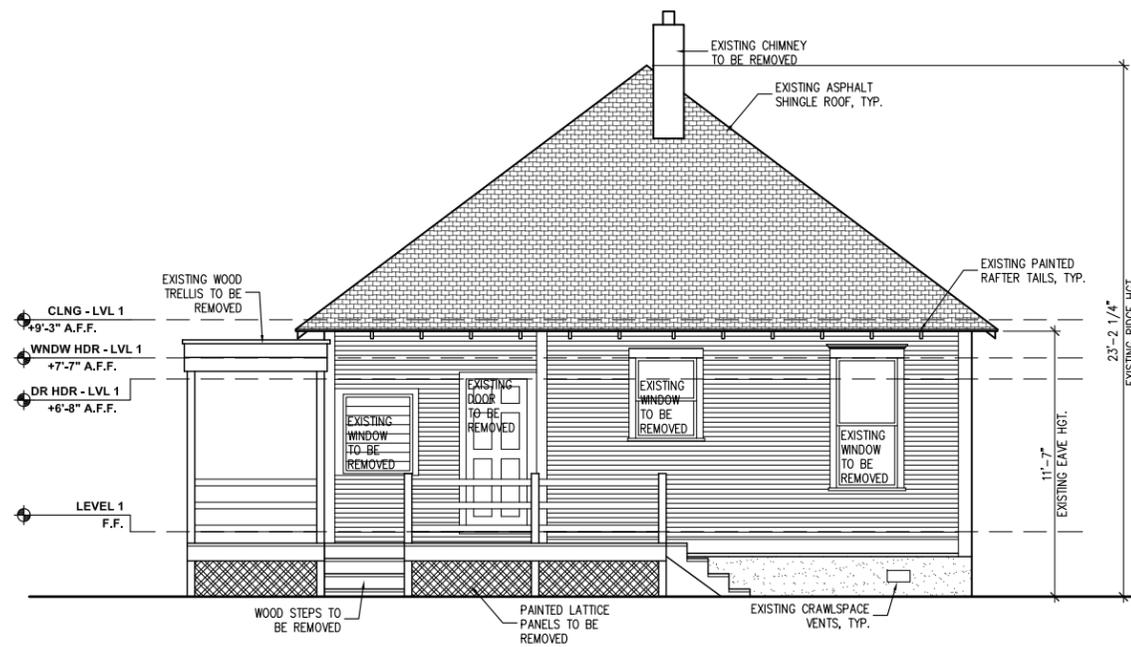


RIGHT SIDE ELEVATION

SCALE: 1/8" - 1'-0"

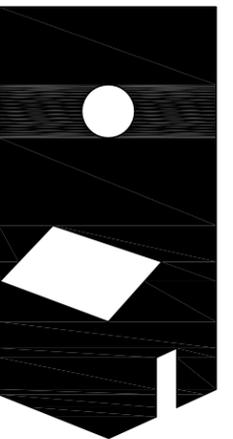
01.06.16
1134 COLUMBIA
 COLDREN RESIDENCE

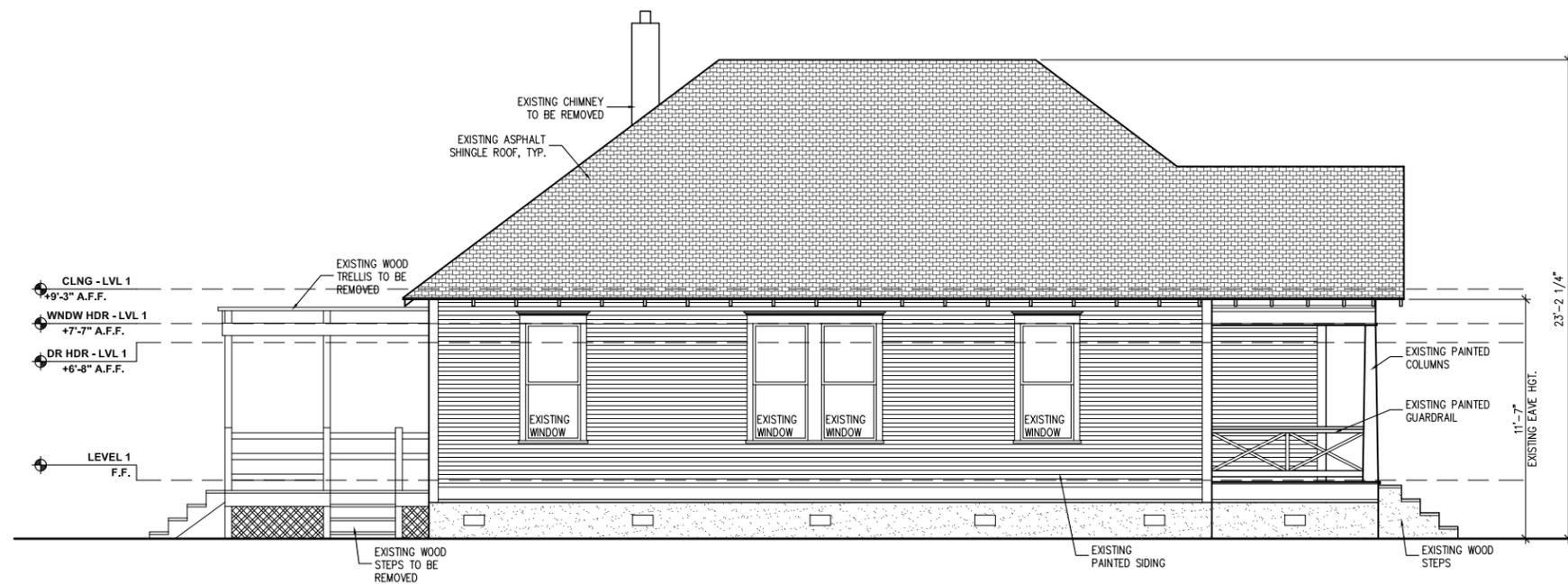




REAR ELEVATION
 SCALE: 1/8" - 1'-0"

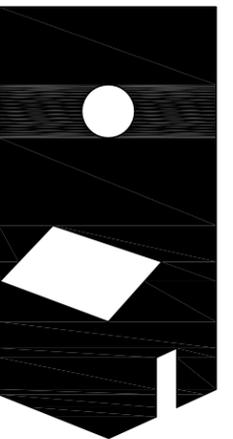
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1134 COLUMBIA
 COLDREN RESIDENCE

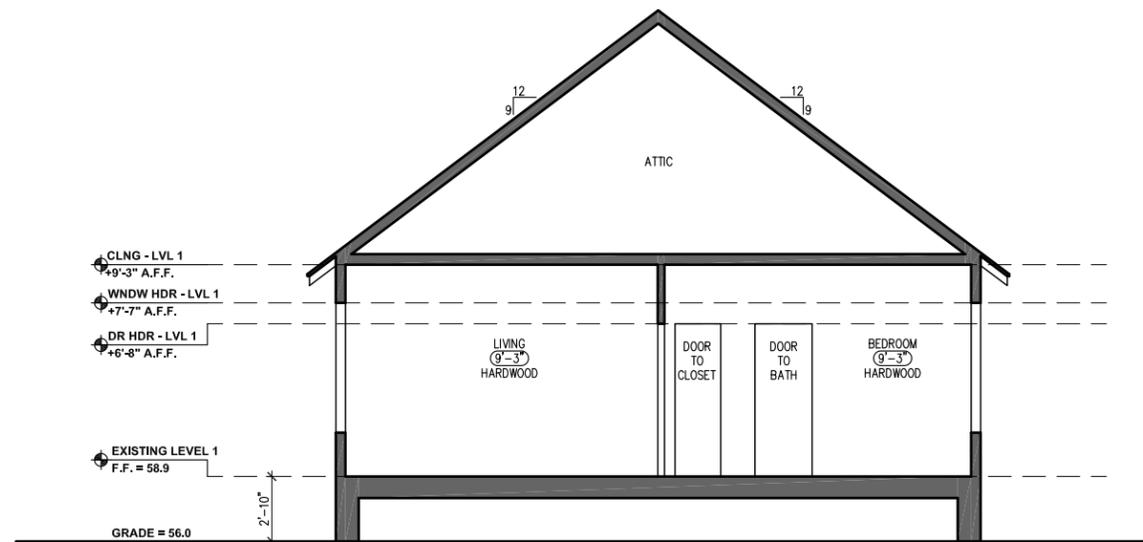




LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

01.06.16
1134 COLUMBIA
 COLDREN RESIDENCE





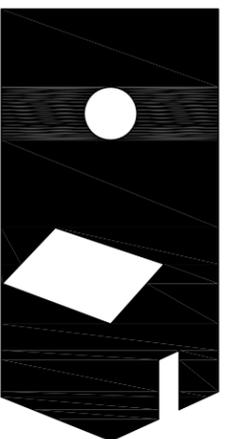
EXISTING BUILDING SECTION

SCALE: 1/8" = 1'-0"

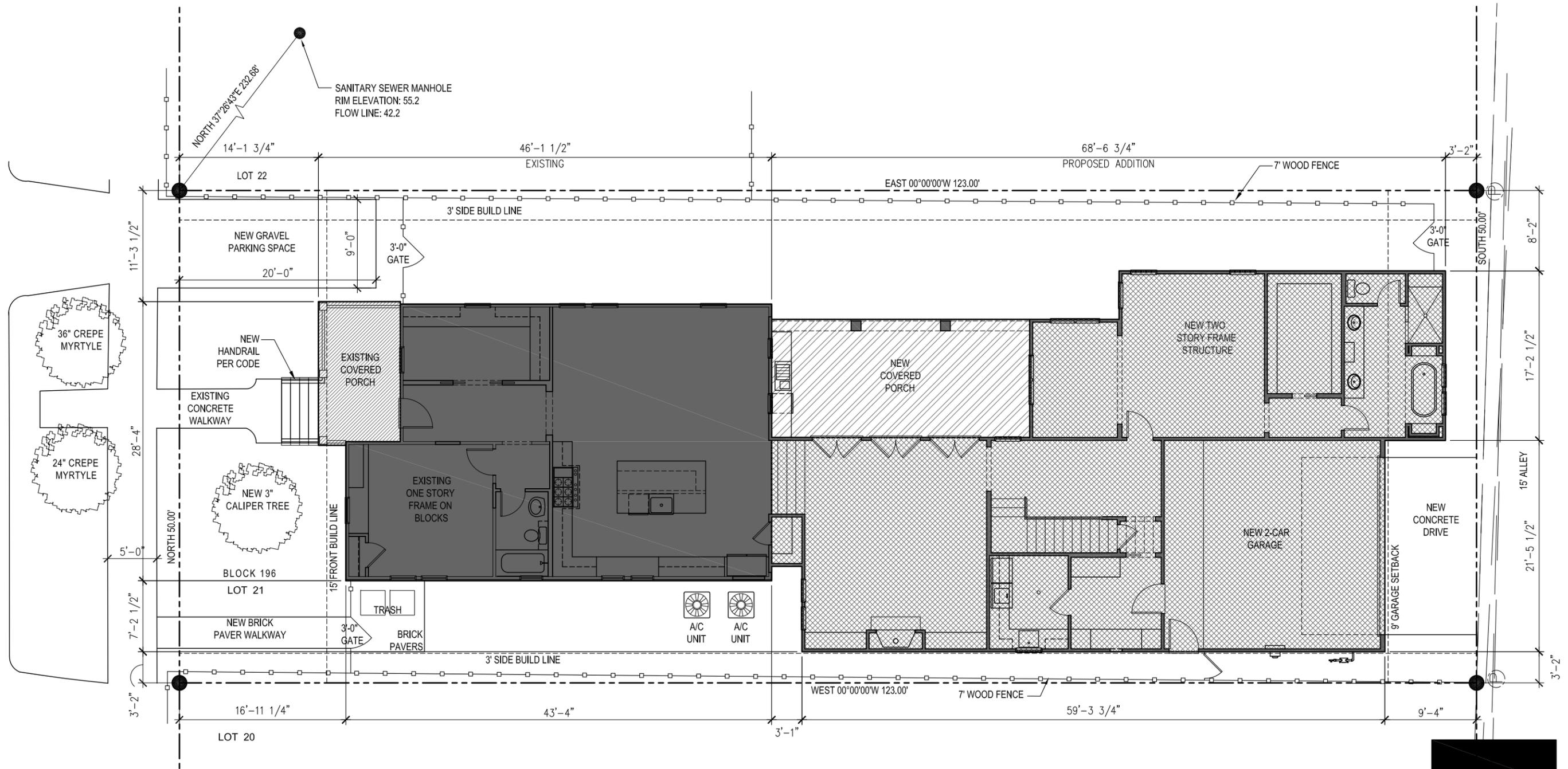
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1134 COLUMBIA

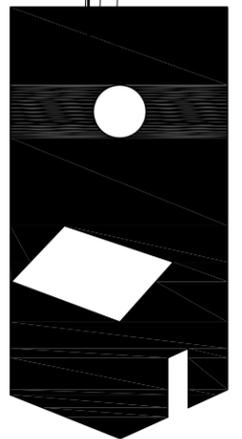
COLDREN RESIDENCE



1134 & 1136 COLUMBIA STREET
70' R.O.W.

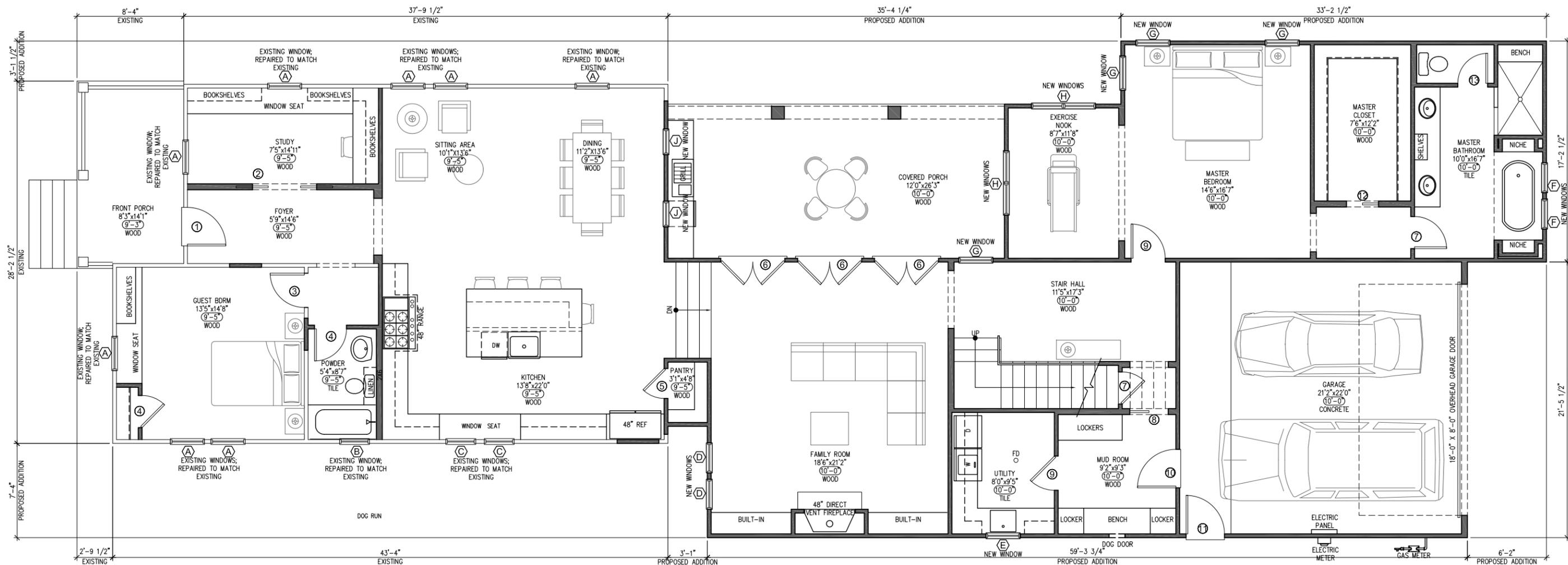


LEGEND	
	EXISTING RESIDENCE TO BE REMODELED
	EXISTING COVERED AREA
	NEW ADDITION
	NEW COVERED AREA



SITE PLAN
SCALE: 3/32" - 1'-0"

01.06.16
1134 COLUMBIA
COLDREN RESIDENCE



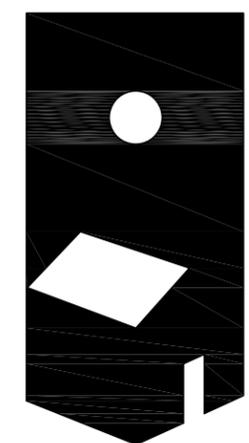
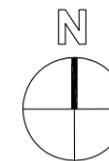
WALL LEGEND

- NEW WALLS
- EXISTING WALLS

NOTE:
REPAIR OR REPLACE EXISTING
EXTERIOR DOORS, WINDOWS AND
SIDING AS NEEDED (FIELD VERIFY)

Square Footage:

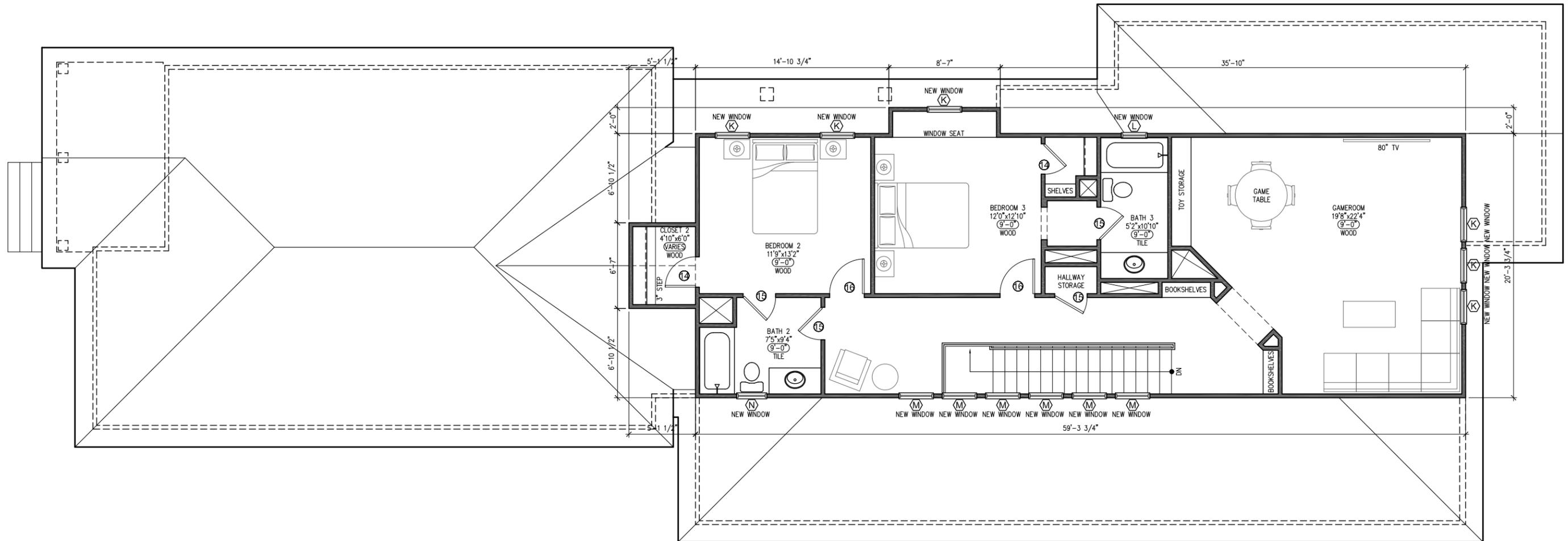
EXISTING LOWER LEVEL AC	1134 S.F.
NEW LOWER LEVEL AC	1512 S.F.
UPPER LEVEL	1187 S.F.
TOTAL NEW AC	2699 S.F.
TOTAL AC	3833 S.F.
COVERED PORCH	315 S.F.
EXISTING FRONT PORCH	119 S.F.
TOTAL PORCHES	434 S.F.
2 CAR GARAGE	488 S.F.
TOTAL COVERED	4755 S.F.



PROPOSED FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

01.06.16
1134 COLUMBIA
COLDREN RESIDENCE



WALL LEGEND

- NEW WALLS
- EXISTING WALLS

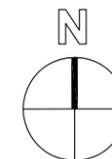
NOTE:
REPAIR OR REPLACE EXISTING
EXTERIOR DOORS, WINDOWS AND
SIDING AS NEEDED (FIELD VERIFY)

PROPOSED SECOND FLOOR PLAN

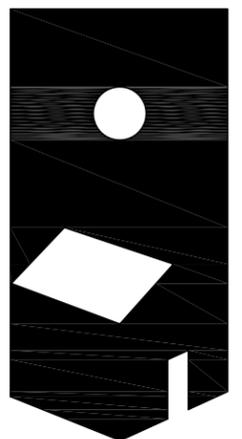
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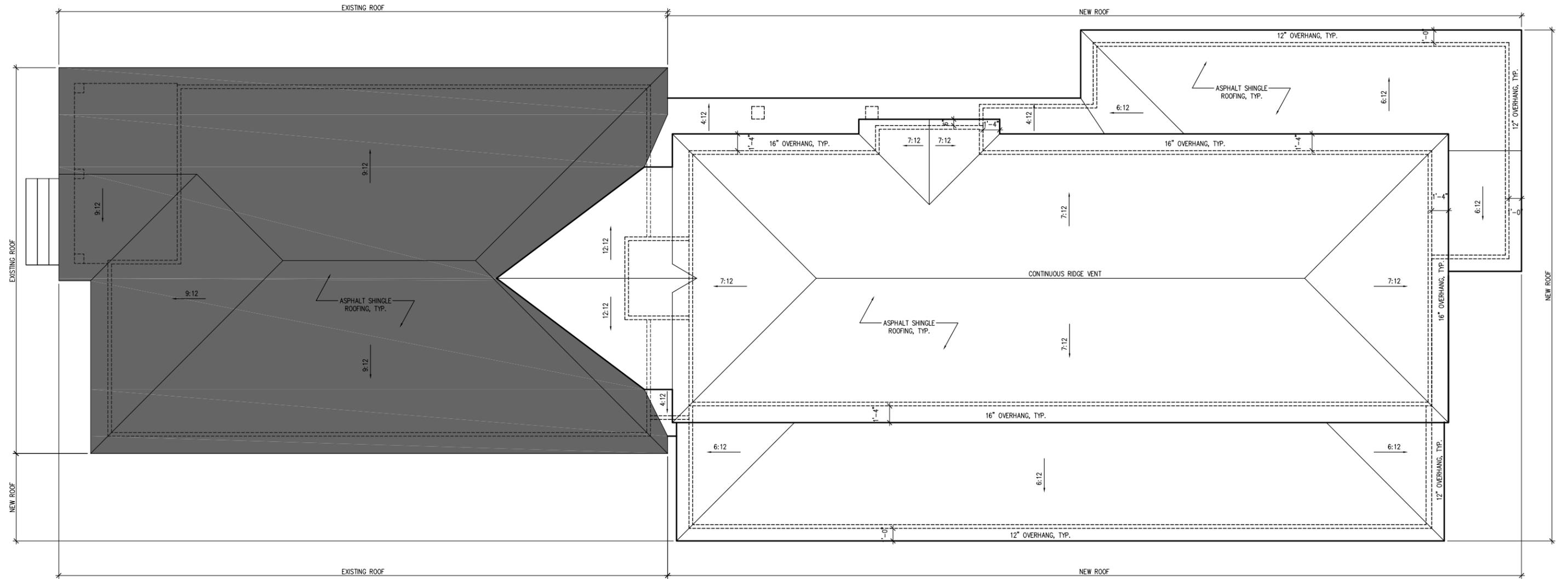
Square Footage:

EXISTING LOWER LEVEL AC	1134 S.F.
NEW LOWER LEVEL AC	1512 S.F.
UPPER LEVEL	1187 S.F.
TOTAL NEW AC	2699 S.F.
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01.06.16
1134 COLUMBIA
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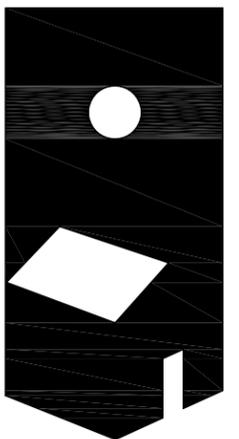


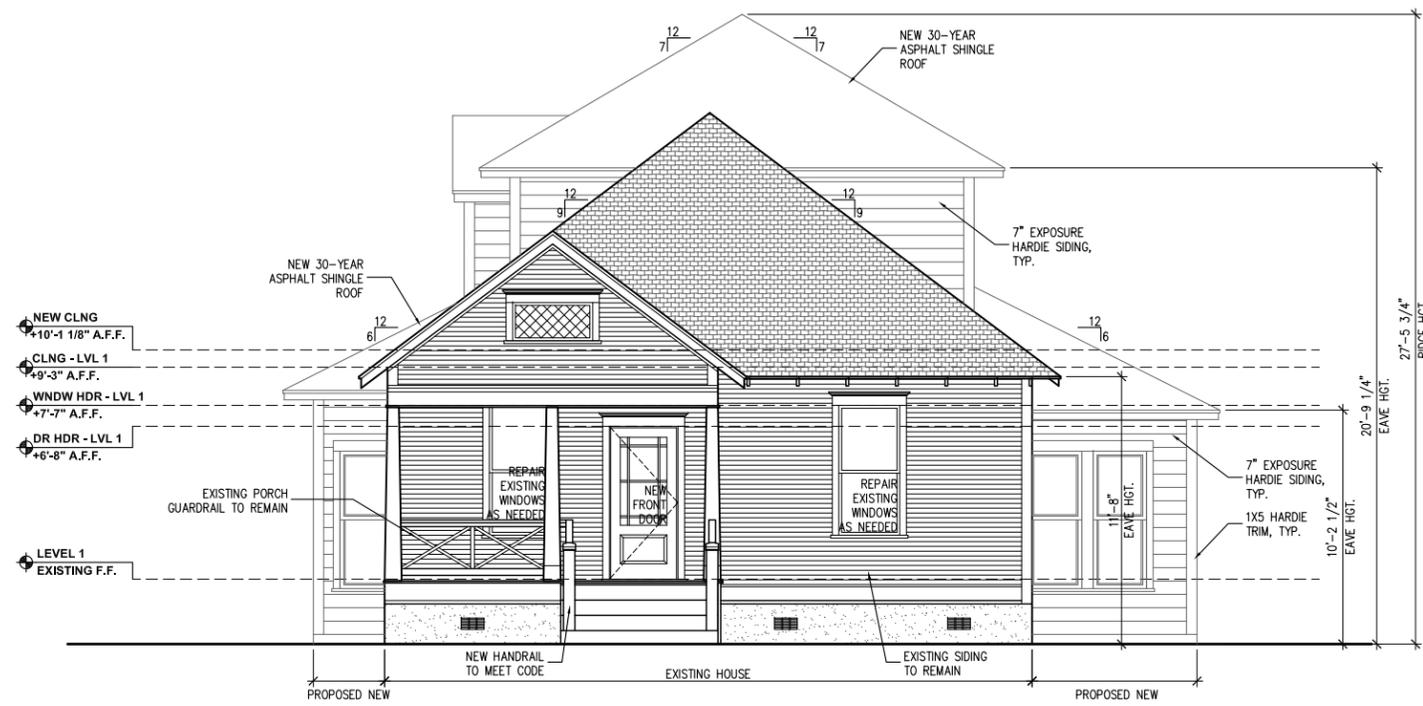


ROOF LEGEND	
	NEW ROOF
	EXISTING ROOF

PROPOSED ROOF PLAN
SCALE: 1/8" - 1'-0"

01.06.16
1134 COLUMBIA
COLDREN RESIDENCE





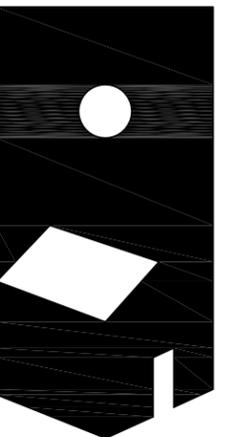
PROPOSED FRONT ELEVATION

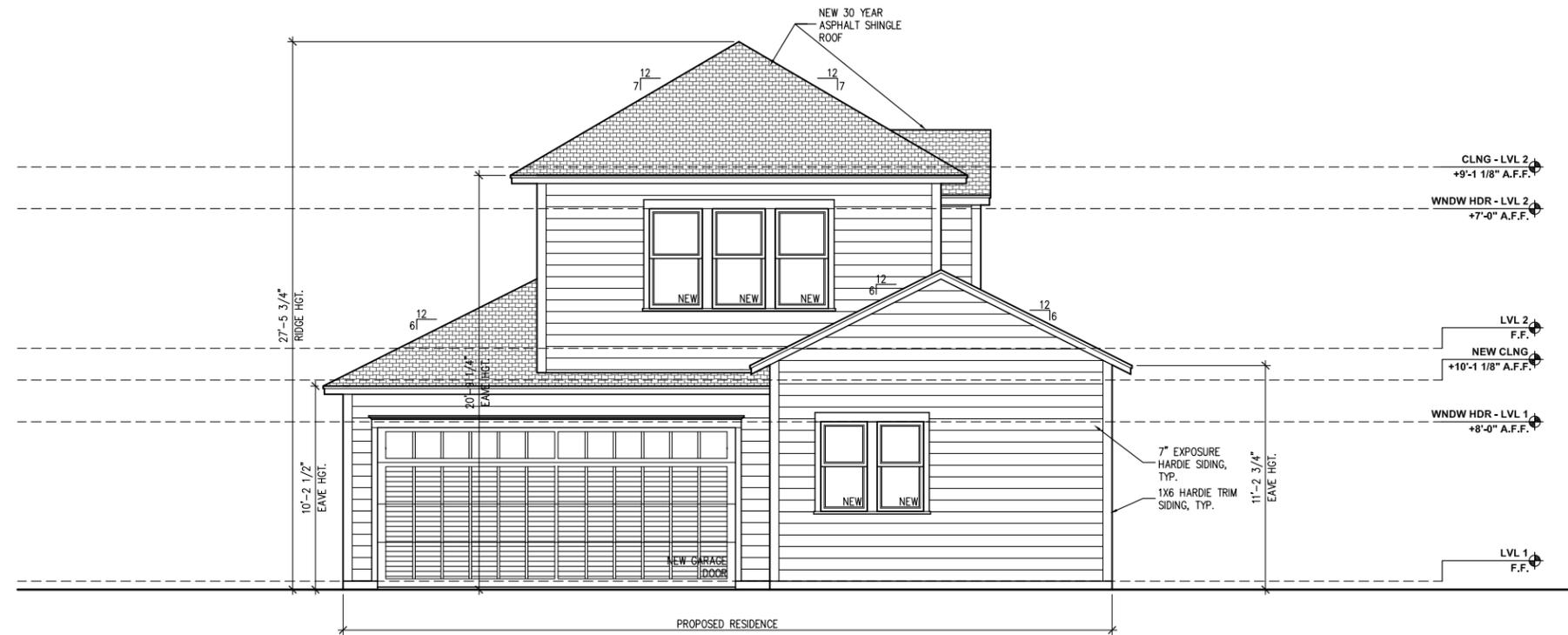
SCALE: 1/8" - 1'-0"

01.06.16

1134 COLUMBIA

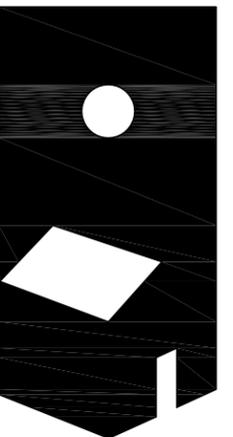
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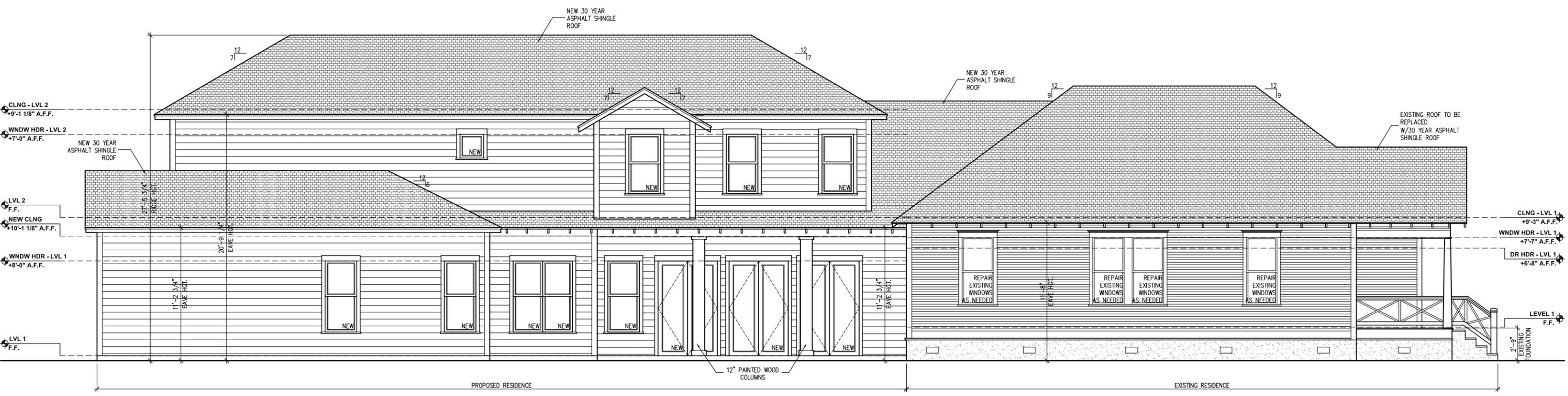




PROPOSED REAR ELEVATION
 SCALE: 1/8" - 1'-0"

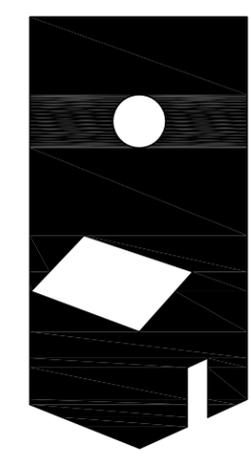
01.06.16
1134 COLUMBIA
 COLDREN RESIDENCE





PROPOSED LEFT ELEVATION
 SCALE: 1/8" - 1'-0"

01.06.16
1134 COLUMBIA
 COLDREN RESIDENCE



WINDOW SCHEDULE

MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
Ⓐ	8	2'-8"	5'-8"	DOUBLE HUNG	2X4	STUDY, SITTING AREA, DINING, GUEST BEDROOM
Ⓑ	1	2'-4"	3'-0"	FIXED	2X4	POWDER
Ⓒ	2	2'-4"	4'-2"	DOUBLE HUNG	2X4	KITCHEN
Ⓓ	2	2'-4"	6'-0"	DOUBLE HUNG	2X4	LIVING ROOM
Ⓔ	1	2'-8"	4'-0"	DOUBLE HUNG	2X4	UTILITY
Ⓕ	2	2'-8"	4'-6"	DOUBLE HUNG	2X4	MASTER BATH
Ⓖ	4	2'-8"	6'-0"	DOUBLE HUNG	2X4	MASTER BEDROOM, STAIR HALL
Ⓗ	2	(2)2'-6"	6'-0"	DOUBLE HUNG	2X4	MASTER BEDROOM, STAIR HALL
Ⓙ	2	2'-0"	4'-0"	DOUBLE HUNG	2X4	MASTER BEDROOM, STAIR HALL
Ⓚ	6	2'-8"	5'-0"	DOUBLE HUNG	2X4	BEDROOM 2, BEDROOM 3, GAMEROOM
Ⓛ	1	2'-0"	2'-0"	FIXED	2X4	BATH 3
Ⓜ	6	2'-8"	1'-6"	FIXED	2X4	STAIR HALL
Ⓝ	1	2'-4"	1'-6"	FIXED	2X4	BATH 2

DOOR SCHEDULE

MARK	QTY	WIDTH	HEIGHT	TYPE	WALL	DESCRIPTION
①	1	3'-0"	6'-8"	EXTERIOR	2X4	FRONT DOOR
②	1	(2)2'-6"	6'-8"	INTERIOR	2X6	(POCKET) STUDY
③	1	2'-8"	6'-8"	INTERIOR	2X4	GUEST BEDROOM
④	2	2'-6"	6'-8"	INTERIOR	2X4	GUEST BEDROOM CLOSET, POWDER
⑤	1	2'-4"	6'-8"	INTERIOR	2X4	PANTRY
⑥	3	(2)2'-6"	8'-0"	EXTERIOR	2X4	COVERED PORCH
⑦	2	2'-6"	8'-0"	INTERIOR	2X4	UNDER STAIR STORAGE, MASTER BATH
⑧	1	3'-0"	8'-0"	INTERIOR	2X6	(POCKET) MUD ROOM
⑨	2	2'-8"	8'-0"	INTERIOR	2X4	UTILITY, MASTER BEDROOM
⑩	1	3'-0"	8'-0"	INTERIOR	2X4	20 MIN FIRE RATED W/ SELF CLOSING HARDWARE. GARAGE
⑪	1	3'-0"	8'-0"	EXTERIOR	2X4	GARAGE DOOR
⑫	1	2'-6"	8'-0"	INTERIOR	2X4	(POCKET) MASTER CLOSET
⑬	1	2'-4"	8'-0"	INTERIOR	2X4	MASTER W.C.
⑭	2	2'-4"	7'-0"	INTERIOR	2X4	CLOSET 2, CLOSET 3
⑮	4	2'-6"	7'-0"	INTERIOR	2X4	BATH 2, BATH 3, HALLWAY STORAGE
⑯	2	2'-8"	7'-0"	INTERIOR	2X4	BEDROOM 2, BEDROOM 3

PROPOSED WINDOW & DOOR SCHEDULE

SCALE: N.T.S.

01.06.16
1134 COLUMBIA
 COLDREN RESIDENCE

