

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 1534 Cortlandt St.
Historic District / Landmark Houston Heights - East HCAD # 0201340000021
Subdivision Houston Heights Lot 21 Block 138

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Darcy A. Durham
Company /
Mailing Address 1534 Cortlandt St.
Houston, TX 77008
Phone 202-427-9751
Email [REDACTED]
Signature [Signature]
Date 4/15/16

APPLICANT (if other than owner)

Name M. Shane Cook
Company Shane Cook Designs
Mailing Address PO Box 70247
Houston, TX 77270
Phone 832-483-8085
Email [REDACTED]
Signature [Signature]
Date 4/15/16

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

PROPERTY ADDRESS: 1534 Cortlandt St.

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other (Garage Apartment)
Detached

DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

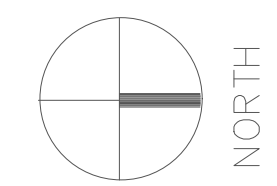
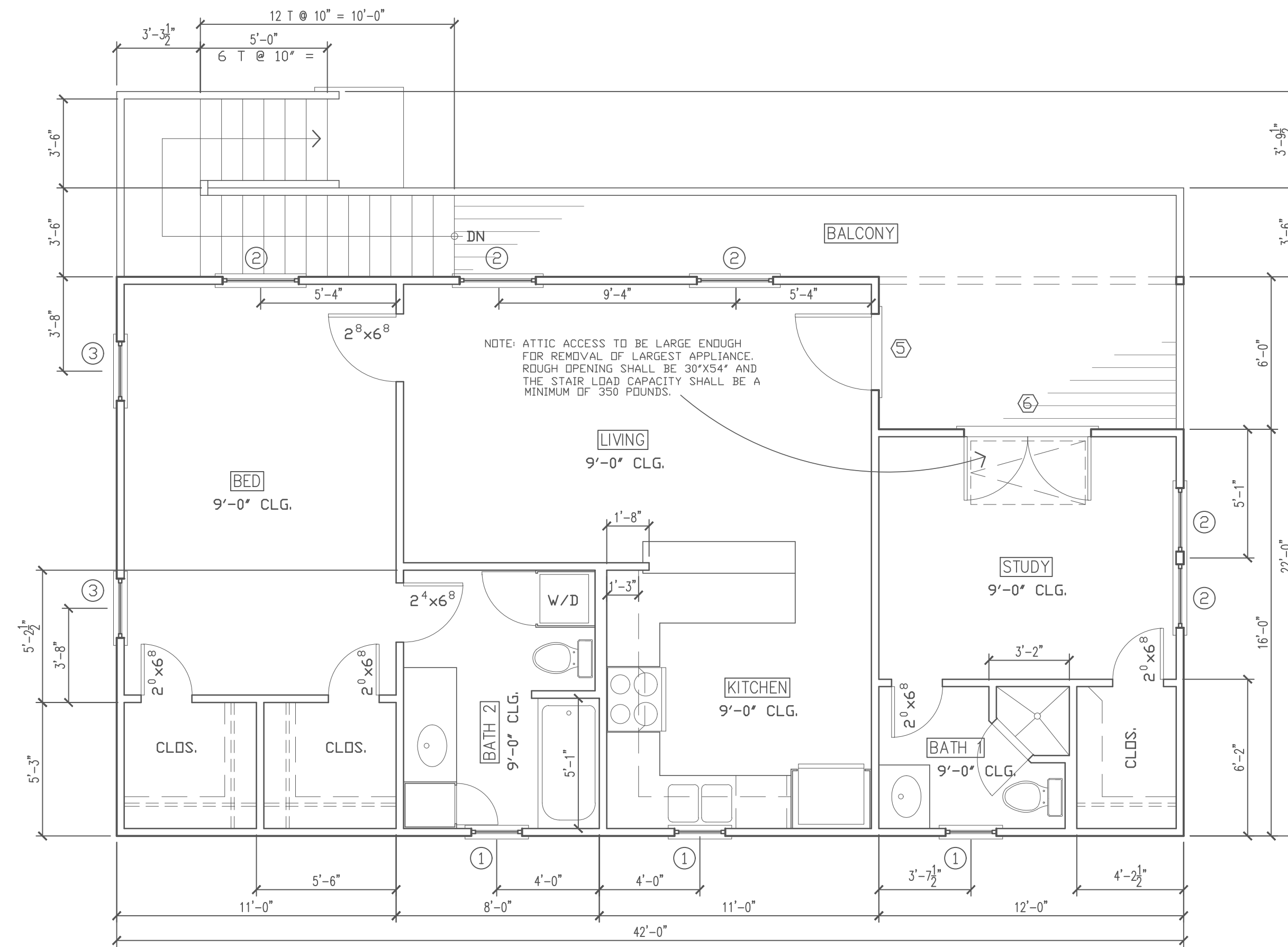
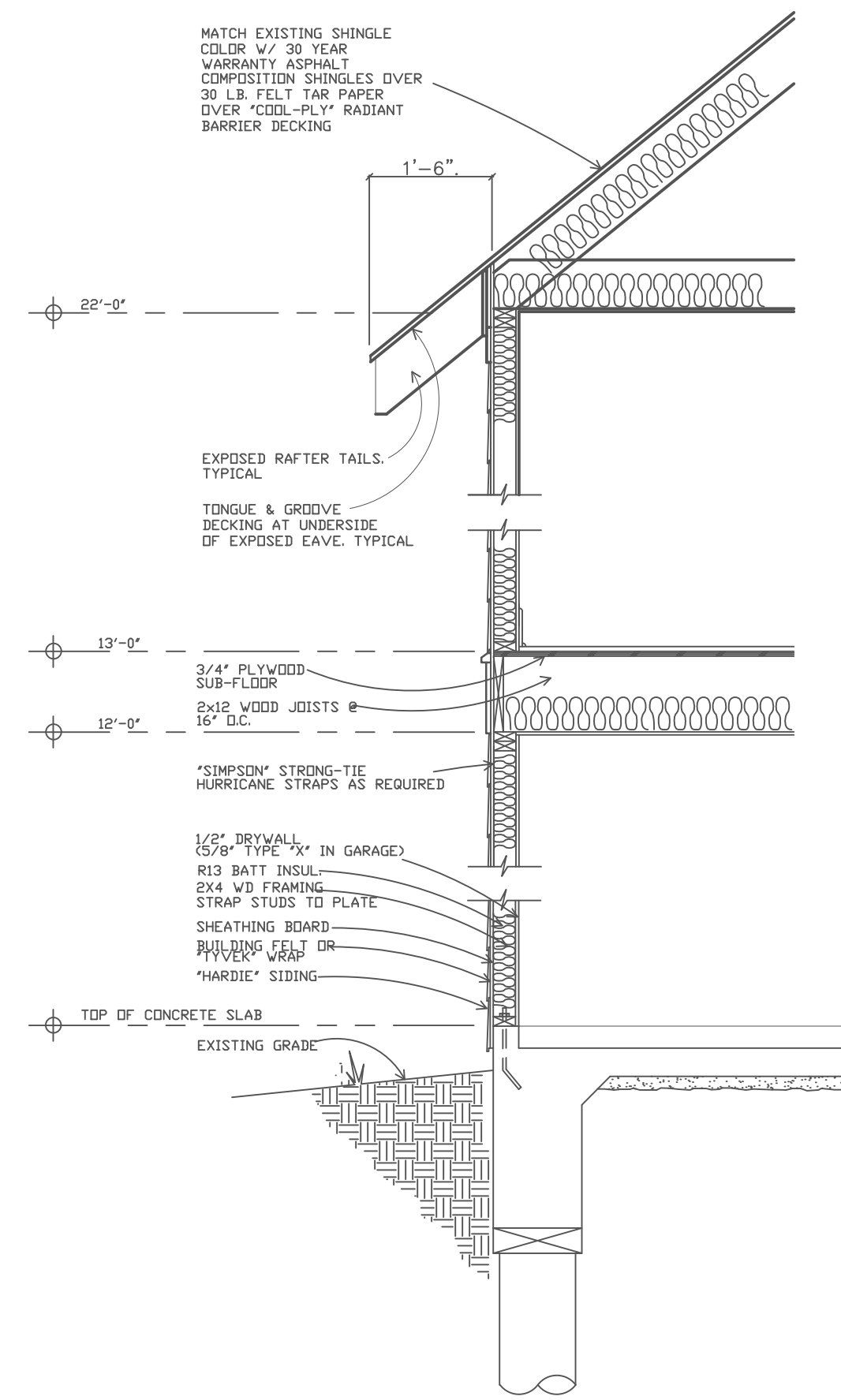
- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- perspective

WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties



WALL SECTION

04 SECOND FLOOR PLAN

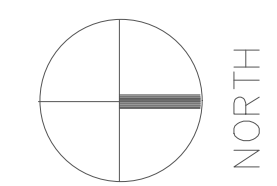
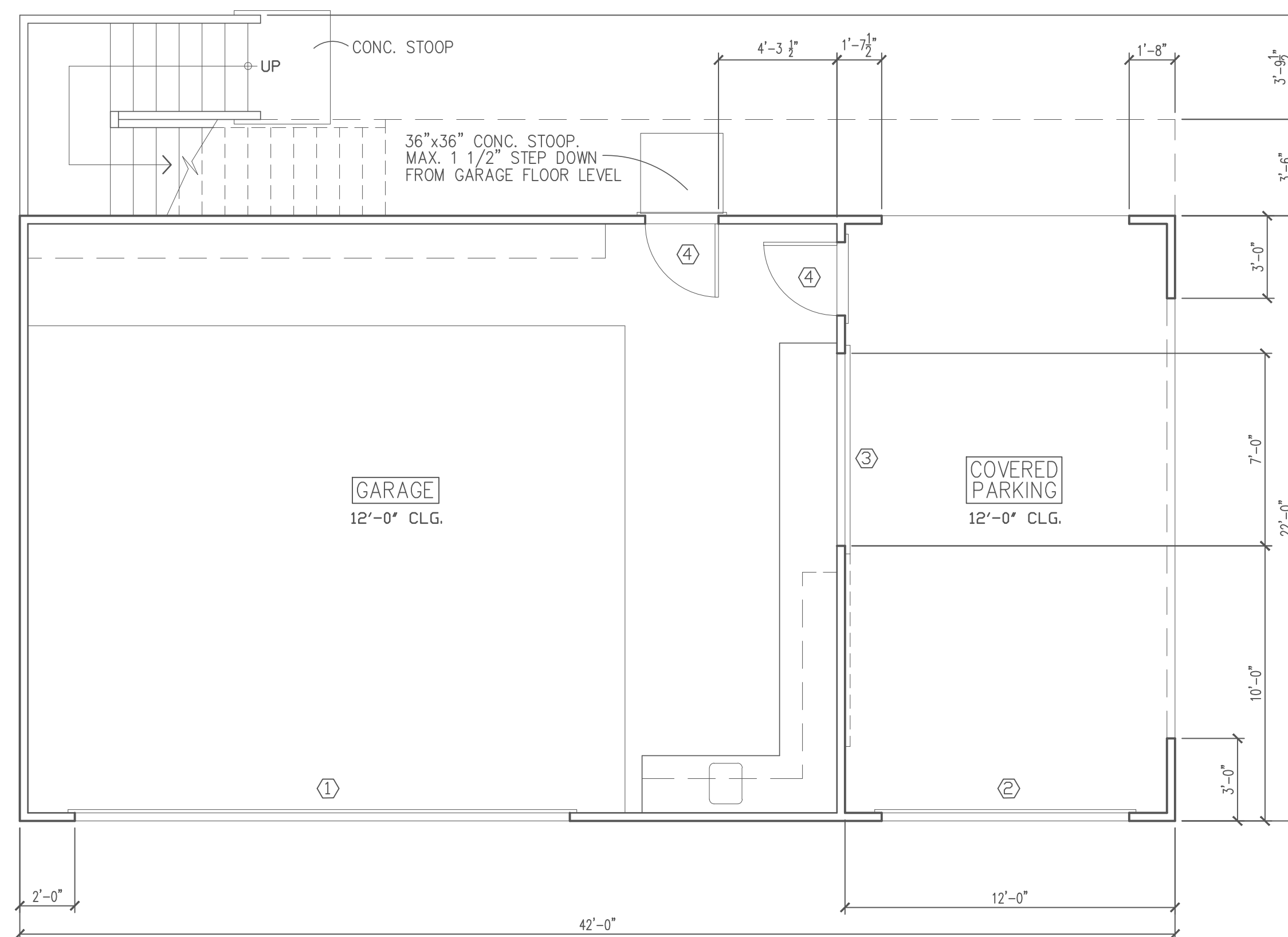
1/4" = 1'-0" 02

DOORS:

- ① 18'-0" x 8'-0" (NOMINAL) RETRACTING GARAGE DOOR. FLAT PANEL, STEEL CLAD.
- ② 9'-0" x 8'-0" (NOMINAL) COILING GARAGE DOOR. STEEL.
- ③ 7'-0" x 8'-0" (NOMINAL) SLIDING BARN DOOR ON TRACK. WOOD.
- ④ 2'-8" x 6'-8" FULL GLASS STEEL DOOR.
- ⑤ 3'-0" x 6'-8" FULL GLASS STEEL DOOR.
- ⑥ PAIR 2'-6" x 6'-8" FULL GLASS STEEL DOOR.

WINDOWS:

- ① 2'-0" x 2'-6" DOUBLE HUNG VINYL CLAD WOOD WINDOW.
- ② 3'-0" x 5'-0" DOUBLE HUNG VINYL CLAD WOOD WINDOW.
- ③ 2'-4" x 3'-6" DOUBLE HUNG VINYL CLAD WOOD WINDOW.



EXTERIOR DOOR & WINDOW SCHEDULE

03 FIRST FLOOR PLAN

1/4" = 1'-0" 01

ISSUE NO.	DATE	DESCRIPTION
	4/19/16	SCHEMATIC DESIGN REVIEW

**SHANE COOK
DESIGNS**

P.O. BOX 70247
HOUSTON, TEXAS 77270
TEL: 832.483.8085
www.shanecookdesigns.com

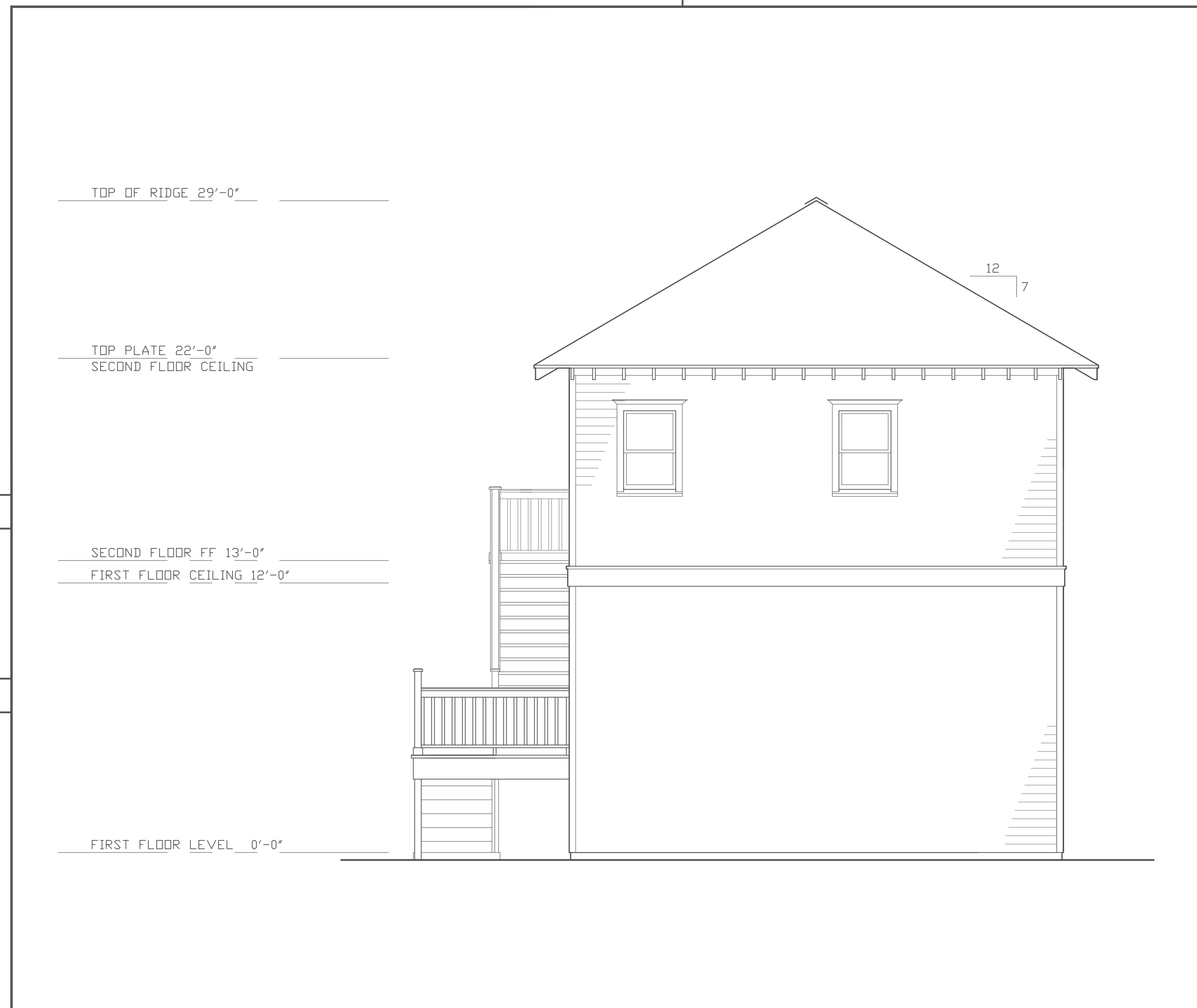
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GARAGE APARTMENT FOR:
**1534 CORTLANDT ST.
HOUSTON, TX 77008**

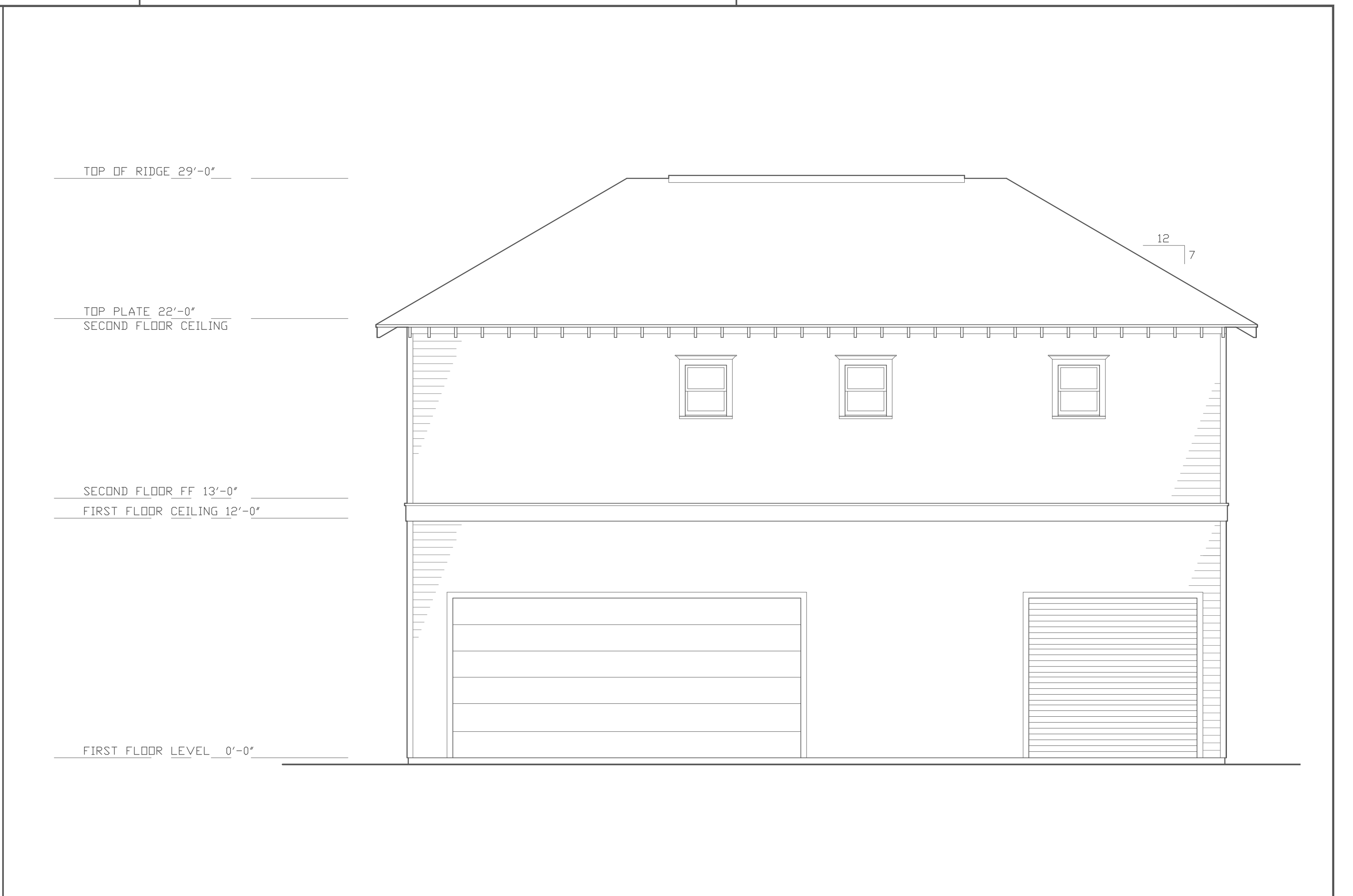
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**FLOOR PLANS &
SCHEDULES**

sheet no.:

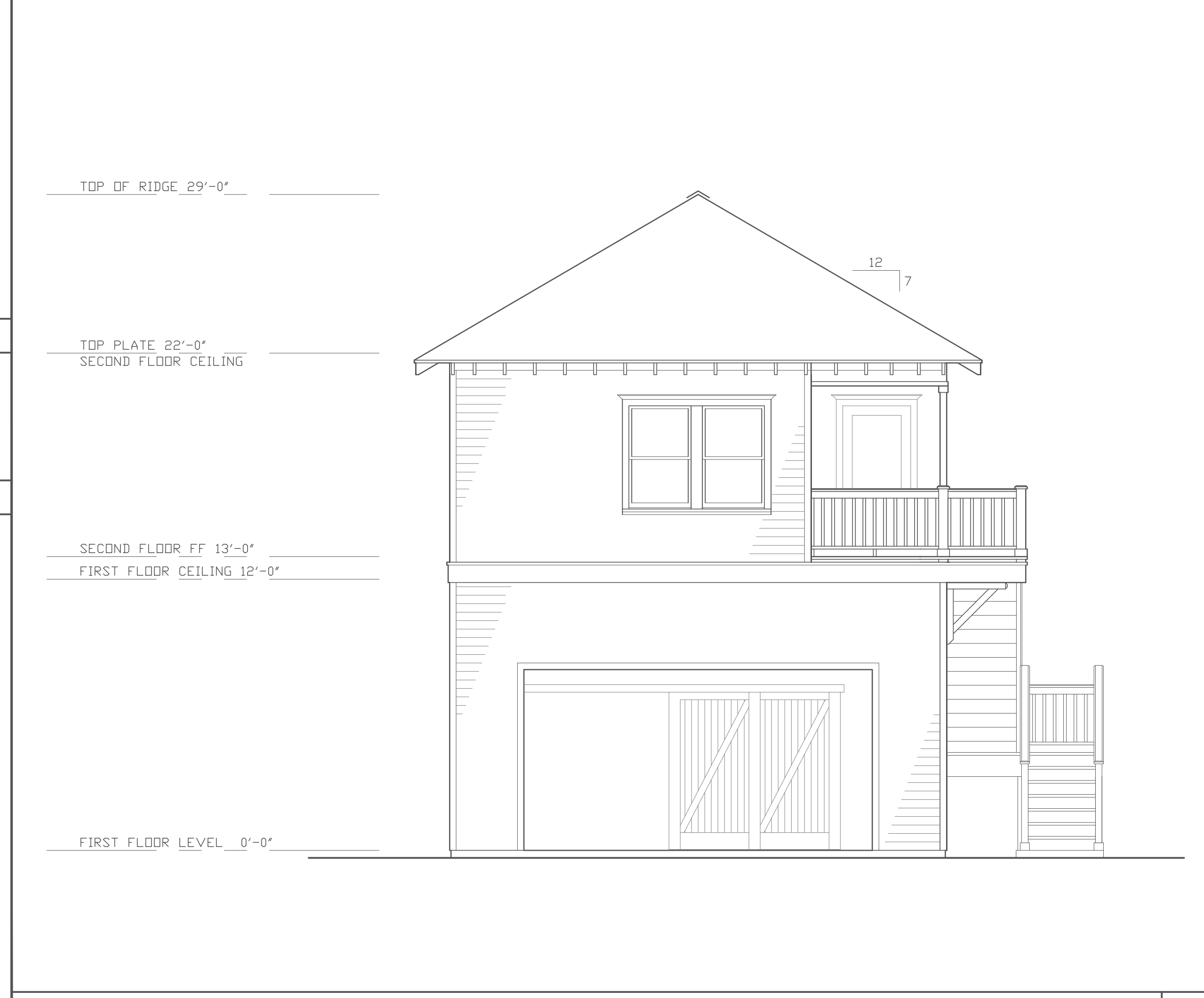
A-3



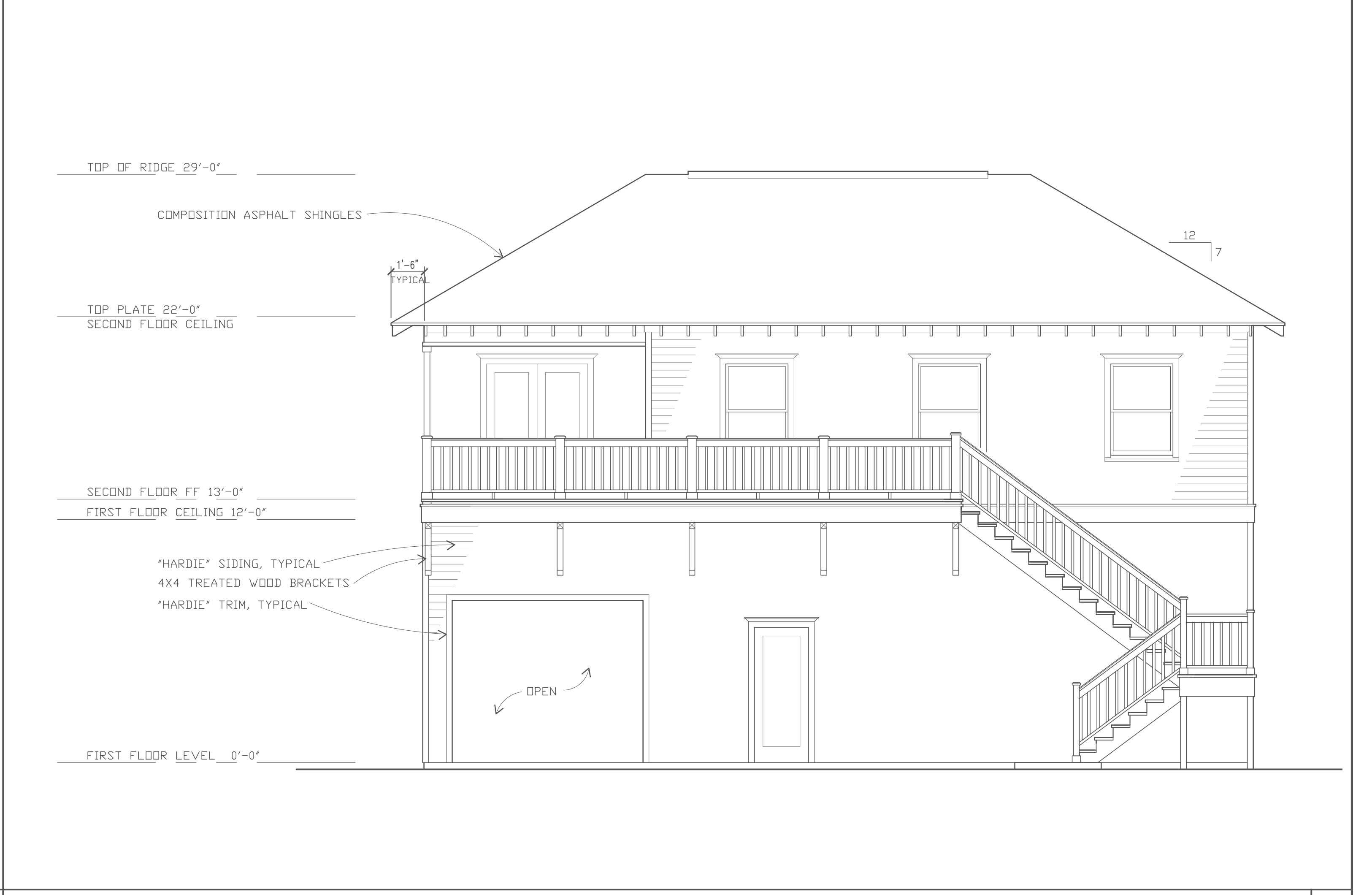
SOUTH ELEVATION 1/4" = 1'-0" 04



EAST ELEVATION 1/4" = 1'-0" 02



NORTH ELEVATION 1/4" = 1'-0" 03



WEST ELEVATION 1/4" = 1'-0" 01

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**1534 CORTLANDT ST.
HOUSTON, TX 77008**

sheet title:
**EXTERIOR
ELEVATIONS**

sheet no.:
A-4



FRONT ELEVATION



FRONT ELEVATION - PATHWAY TO PORCH LOCATION

