

Planner: _____

Application received: _____ Application complete: _____

Dead Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAH-C approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Date _____ Signature _____ Email _____ Phone _____ Mailing Address _____ Company _____ Name _____ APPLICANT (if other than owner)	Date 04.19.2016 Signature _____ Email _____ Phone (312) 953-6584 Mailing Address 2111 DEL MONTE DR. Company _____ Name JOHN BISHOP & MELINA MCCARTY OWNER
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Application checklist for each proposed action and all applicable documentation listed within are attached

DOCUMENTS

- | | | | |
|----------------------------------------------|------------------------------------------|------------------------------------------------------------|-------------------------------------|
| <input type="checkbox"/> Archaeological Site | <input type="checkbox"/> Vacant | <input type="checkbox"/> New Construction | <input type="checkbox"/> Excavation |
| <input type="checkbox"/> Protected Landmark | <input type="checkbox"/> Noncontributing | <input type="checkbox"/> Restoration | <input type="checkbox"/> Demolition |
| <input checked="" type="checkbox"/> Landmark | <input type="checkbox"/> Contributing | <input checked="" type="checkbox"/> Alteration or Addition | <input type="checkbox"/> Relocation |

DESIGNATION TYPE

PROPOSED ACTION

Address 2111 DEL MONTE DR.

Historic District / Landmark LANDMARK

Subdivision RIVER OAKS SEC 3

HCAD # 0601550440017

Lot 17 Block 44

PROPERTY

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING & DEVELOPMENT DEPARTMENT

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 2111 DEL MONTE DR.

BUILDING TYPE

- | | |
|-------------------------------------------------------------|----------------------------------------------|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|------------------------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|-----------------------------------------------------------------------|---------------------------------------------------------------------|
| <input checked="" type="checkbox"/> current site plan | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> current roof plan |
| <input checked="" type="checkbox"/> current floor plans | <input checked="" type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> current window and door schedule | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight |

2111 Del Monte Dr.

1. Property Description: Existing 2-story modified Georgian home with cream brick exterior and jade green shutters. Recessed arched front entry. Additions on the back have vertical and horizontal siding with multiple styles of windows. New 2-story garage finished in 2013 with brick and hardie siding.
2. Proposed Work:
 - a. 3rd floor build-out, only visible from back elevation; converting one gable vent into an egress window
 - b. Kitchen remodel, removal of one window and addition of 2 windows to match existing lite pattern and proportion
 - c. Replace picture style windows in sunroom with casement style to match existing lite pattern and proportion
 - d. Replace mud room and back entry doors with French doors
 - e. Replace 2 windows in study with 3 French doors
3. Materials Existing: cream colored brick, cream painted vertical and horizontal siding, cream painted trim, composition shingle roof, bitumen roof, pre-fished aluminum gutters and downspouts, wood shutters
4. New Materials: Smooth Hardie board artisan siding, pre-finished standing seam metal roof, gutters and downspouts to match, casement style windows, French doors, treated wood trim, brick to match existing, TPO/bitumen roofing (to replace existing), shutters to match

River Oaks Property Owners, Inc. has provided preliminary approval for the addition and remodel work. Please see attached letter.

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS.
- COORDINATE ALL ARCHITECTURAL PLANS WITH STRUCTURAL, ELECTRICAL, AND MECHANICAL SYSTEMS.
- CONTRACTOR TO VERIFY LOCATION OF UTILITIES AND SERVICES PRIOR TO THE COMMENCEMENT OF WORK.
- PLACEMENT OF BUILDINGS ON SITE WILL BE APPROVED BY ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF FOUNDATION WORK.
- PROTECT ALL TREES ON SITE, UNLESS NOTED OTHERWISE.
- TREE LOCATIONS AND CANOPIES ON SITE PLAN ARE APPROXIMATE. CONSULT ARCHITECT IF DISCREPANCIES EXIST BETWEEN DRAWINGS AND SITE CONDITIONS.
- REPRODUCTIONS, DO NOT SCALE FROM THESE DRAWINGS.
- ALL DIMENSIONS ARE FROM FACE OF STUD UNLESS OTHERWISE NOTED.
- CONFORM ALL ELEVATION HEIGHTS BEFORE CONSTRUCTION BEGINS.
- SOIL AND FOUNDATION SHALL BE CHEMICALLY TREATED FOR TERMITES ACCORDING TO MINIMUM STANDARDS REQUIRED BY THE STATE OF TEXAS.
- FRAMING LUMBER SHALL BE #2 S-P F OR #1 S-P F UNLESS OTHERWISE NOTED. ALL JOISTS, RAFTERS, AND HEADERS, ROOF SHEATHING TO BE 2" COX PLYWOOD W/RADIANT FOL BACKING. WALL SHEATHING TO BE 1/2" COX PLYWOOD.
- DOUBLE STUD ALL 2x4 WALLS THAT ARE BENEATH ANY THIRD FLOOR SPACE.
- MINIMUM CLEAR HEAD HEIGHT AT STAIRS SHALL BE 6'-10"
- FRAMER TO VERIFY LOCATION AND PLATE HEIGHT OF ALL PORT WALLS IN FIELD PRIOR TO PLACEMENT.
- PLYWOOD SUB-FLOOR SHALL BE DROPPED FLUSH WITH FRESSES AT ALL THE LOCATIONS.
- ALL TRANSITIONS OF WOOD FLOOR TO ANY OTHER FLOORING MATERIAL SHALL BE TO A 100% TRANSITION STRIP TO MATCH WOOD FLOOR.
- STAIRS-ALL STAIRS ARE TO COMPLY WITH IRC TOP OF HANDRAIL AT STAIR SHALL BE 3'-0" ABOVE LEADING EDGE OF TREAD WITH 4" MAX BETWEEN BALUSTERS.
- TOP OF INTERIOR BALCONY RAIL SHALL BE 42" MAX WITH 4" MAX BETWEEN BALUSTERS.
- BOTTOM RAIL AT BALCONIES IS TO BE 2" MAX AFT.
- THE "X" OF GIP BOARD TO BE INSTALLED IN LOCATIONS REQUIRING STRENGTH, AND ALL LOCATIONS REQUIRING BY CODE.
- SAFETY GLASS IS TO BE INSTALLED IN ALL FRENCH DOORS, IN WINDOWS ADJACENT TO BATH TUBS, IN SHOWER ENCLOSURES, AND OTHER LOCATIONS AS PER IRC.
- THE SMOKE ALARMS MUST COMPLY WITH SECTIONS R317.1 AND R317.2 OF THE IRC. SMOKE ALARM LOCATIONS SHOWN ON SHEETS E20
- INSULATION TO BE R-19 FOR WALLS AND R-30 FOR ROOFS

INTERIOR MATERIALS SCHEDULE

- FLOORS AS NOTED ON PLANS
- WOOD
- WOOD FLOORS TO MATCH EXISTING
- CERAMIC TILE FLOORS AND TUB/SHOWER WALLS TILE: \$9/SF MATERIAL ONLY
- WALLS AND CEILING
- 1/2" GYPSUM BOARD (ALL WALLS AND CEILING)
- 5/8" GREEN X GYPSUM BOARD (BATH TUBS)
- 5/8" GREEN WATER RESISTANT GYPSUM BOARD (BATHS, SHOWERS)
- STONE COUNTERTOPS
- 1-1/2" FABR-EDGE: \$68.00 SF/INSTALLED
- BASE PAINTED TO MATCH EXISTING
- CASING PAINTED TO MATCH EXISTING
- DOORS 1 3/8" MOF TO MATCH EXISTING
- CABINETS
- PAINT GRADE
- 3/4" BIRCH PAINT GRADE VENEER PLYWOOD SHEETS AND 1/4" BACKS. FACE FRAME TO BE 3/4" X 1 1/2" POPULAR. DRAWER FRONTS TO BE 3/4" X 1 1/2" POPULAR. INSERT BOXES TO BE 5/8" BIRCH VENEER PLYWOOD W/ CLEAR SEALER. DOORS TO BE 3/4" POPULAR STILES AND RAILS. INSET W/ FLAT INSET PANEL (SHAKER) FINISHES TO BE 110 DEGREE
- DOORS TO BE 1 1/2" HEAVY DUTY FULL EXTENSION. ALL SHELVES TO BE ADJUSTABLE. 3/4" BIRCH PLYWOOD WITH GREEN MOLD EDGE. CABINETS TO BE PAINTED. CONFORM LOCATIONS WITH OWNER.
- CLOSETS
- TYPICAL CLOSETS TO BE SOLID YELLOW PINE CHROME ROOS. SHELVING TO BE 1X12 WHITE PINE MASTER CLOSET TO HAVE 14 DEEP BIRCH PLYWOOD SHELVES WITH 1X2 EDGE BAND. CHROME ROOS.
- EXTERIOR MATERIALS SCHEDULE
- ROOF
- PRE FINISHED STANDING SEAM METAL ROOF: TPO OR BITUMEN LOW SLOPE ROOF
- SIDING
- ARTISAN HARDE BOARD, SMOOTH FINISH. MITERED CORNERS. VARNING WOVNS. RE. A1.0
- BRICK
- PAINTED BRICK TO MATCH EXISTING
- EXTERIOR BRICK: \$390.00 PER 100
- TIM
- HARDBOARD IN SIZES SHOWN ON DRAWINGS.
- WINDOWS
- ALUMINUM CLAD WOOD WINDOWS COMPLETE WITH INTERIOR WOOD FINISH. FINISHES TO MATCH ON THE DRAWINGS. KOBIE OR SIMILAR. SEE DRAWINGS FOR LOCATIONS AND TYPES.
- ALL WINDOW GLAZING TO COMPLY WITH THE 2006 IRC. ALL GLASS WITHIN 24" OF EGRESS DOORS AND STAIRWAYS, MUST BE SAFETY-GLAZED. PROVIDE SASH LIMITERS IF NEEDED TO COMPLY WITH THE 2006 IRC.
- ALLOWANCES
1. FINISH HARDWARE: \$1,500
 2. EXTERIOR DOOR HINGES, INTERIOR AND EXTERIOR DOOR HINGES, DEADBOLTS, FLUSH BOLTS, CABINET KNOBS, DOOR STOPS, SHELF CLIPS, BATHROOM ACCESSORIES NOT INCLUDED. CABINET HINGES AND ACCESSORIES
 3. ELECTRICAL FIXTURES: \$3,000
 4. INTERIOR LIGHT FIXTURES, RECESSED LIGHTS, UNDER-CABINET/DOVE LIGHTS, EXHAUST FANS, CEILING FANS
 5. LOW VOLTAGE: \$ 1,000
 6. PLUMBING FIXTURES: \$2,200
- INCLUDES SINKS, VANITIES, TOILETS, TUBS, FAUCETS, WALKS

LEGAL DESCRIPTION

2111 DEL MONTE DR.
HOUSTON, TX 77019

LOT 17 BLOCK 44 OF RIVER OAKS ADDITION SECTION 3 ACCORDING TO THE PLAT RECORDED IN VOL. 8 PAGE 69 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

CODES AND ORDINANCES:

- 2006 INTERNATIONAL BUILDING CODE
 - 2006 INTERNATIONAL RESIDENTIAL BUILDING CODE
 - 2006 INTERNATIONAL MECHANICAL CODE
 - 2006 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2006 INTERNATIONAL FIRE CODE
 - 2014 NATIONAL ELECTRICAL CODE
 - 2014 NATIONAL PLUMBING CODE
 - OWNER'S PROPERTY OWNERS DEEDS AND RESTRICTIONS
- SQUARE FOOTAGE:
- EXISTING HOUSE 1ST & 2ND FLOOR 3,554 SF
- EXISTING GARAGE 1ST & 2ND FLOOR 1,294 SF
- ATTC REMOVAL 1/2 603 SF
- ATTC REMOVAL NON A/C 873 SF
- TOTAL 668 SF

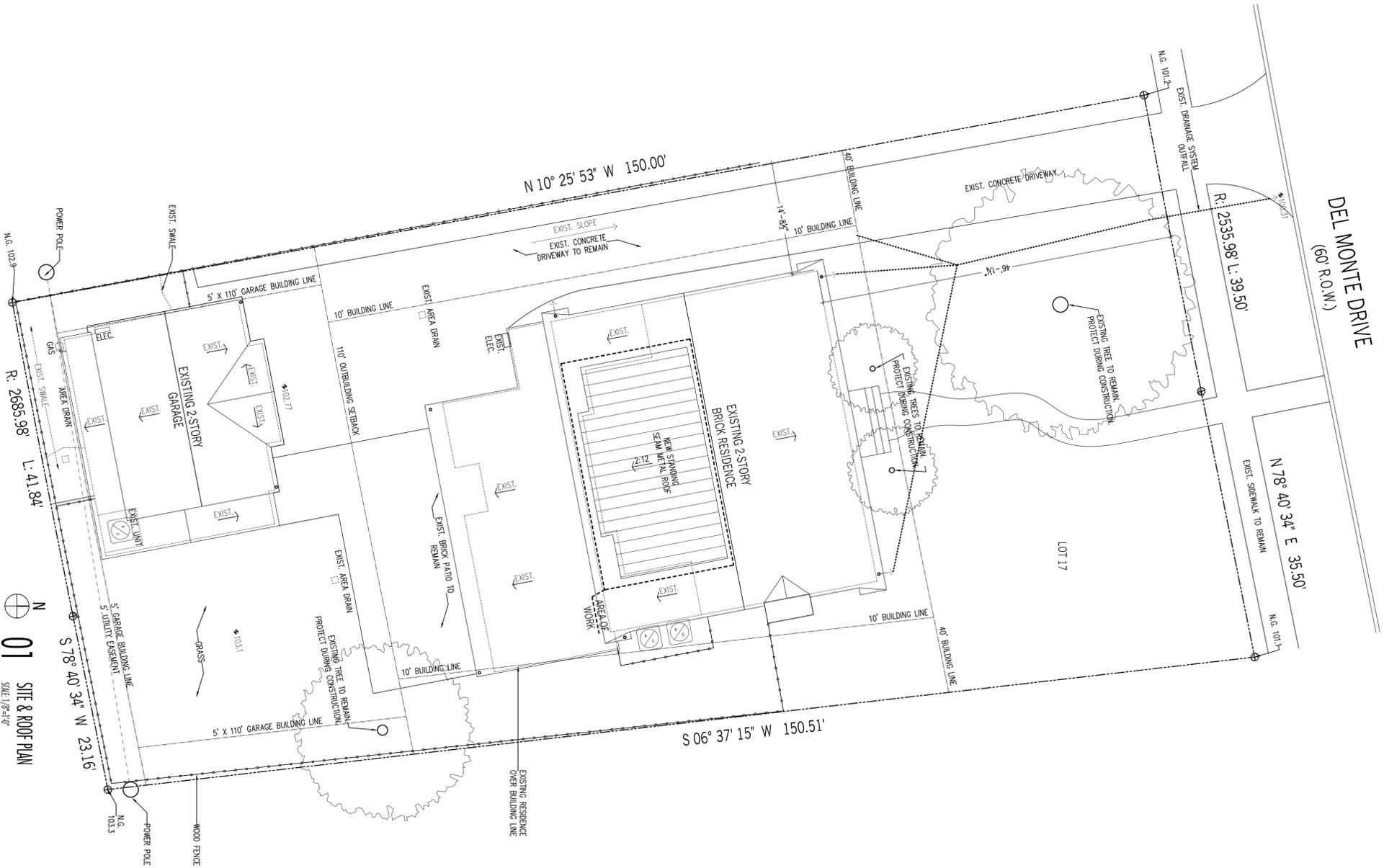
BRANNING INDEX:

- A1.0 SITE & ROOF PLAN GENERAL NOTES
- A2.0 FIRST & SECOND FLOOR PLAN
- A3.0 EXTERIOR ELEVATIONS, BUILDING SECTION & EAVE DETAIL
- A7.0 DOOR & WINDOW SCHEDULE, DETAILS
- O2.0 FIRST & SECOND FLOOR DEMOLITION PLANS
- E2.0 FIRST & SECOND FLOOR ELECTRICAL PLANS
- S1 FIRST LEVEL CEILING FRAMING PLAN
- S2 CHROME ROOS, SHELVING TO BE 1X12 WHITE PINE
- S3 THIRD LEVEL CEILING FRAMING PLAN
- S4 ROOF FRAMING PLAN
- S5 FRAMING DETAIL 2

IMPERVIOUS CALCULATIONS:	EXISTING	PROPOSED
TOTAL LOT AREA	10,580 S.F.	10,580 S.F.
TOTAL IMPERVIOUS AREA 110% OF BUILDING AREA	6,021 S.F.	6,021 S.F.
TOTAL IMPERVIOUS AREA:	1,636 S.F.	1,636 S.F.
DRIVEWAY	1,080 S.F.	1,080 S.F.
WALKWAYS, PATIO, OTHER	2,095 S.F.	2,095 S.F.
TOTAL HOUSE AREA	682 S.F.	682 S.F.
TOTAL GARAGE AREA	5,473 S.F.	5,473 S.F.
TOTAL IMPERVIOUS AREA	62%	NO NEW IMPERVIOUS
% IMPERVIOUS		62%

GENERAL DEMOLITION NOTES

1. CAP OR REMOVE PLUMBING AS NEEDED. RELOCATE LINES TO NEW FIXTURES.
2. PROVIDE TEMPORARY PANEL AND WATER DURING CONSTRUCTION TO MAINTAIN POWER TO MAIN HOUSE.
3. REMOVE AND STORE EQUIPMENT AND PLUMBING AS NEEDED FOR POSSIBLE REUSE. OWNER TO DETERMINE.
4. REMOVE INTERIOR DOORS AFFECTED BY NEW CONSTRUCTION AND STORE FOR REUSE.
5. SALVAGE AND STORE ALL APPLIANCES FOR REUSE AS DIRECTED BY OWNER.
6. REMOVE AND STORE BRICK AS REQUIRED FOR NEW WINDOWS & DOORS. PATCH AS NEEDED.



McCARTY BISHOP RESIDENCE

GENERAL NOTES

A1.0

SITE & ROOF PLAN

RELEASED FOR:

RDPO BIRNIEV 01.20.16

PERMIT & CONSTRUCTION 01.27.16

STRUCUTURAL ENGINEER

BECL-IN ENGINEERING

2816554.8441

MDA

MILLER DAHLJEAN ARCHITECTS

3801 KIRBY SUITE 240
HOUSTON, TX 77098
P 715.520.7460

McCARTY BISHOP RESIDENCE

2111 DEL MONTE



MILLER DAHLSTRAND DEJEAN ARCHITECTS
3804 KIRBY SUITE 240
HOUSTON, TX 77098
P 715.520.7460



STRUCTURAL ENGINEER
BECLIN ENGINEERING
281.654.8441

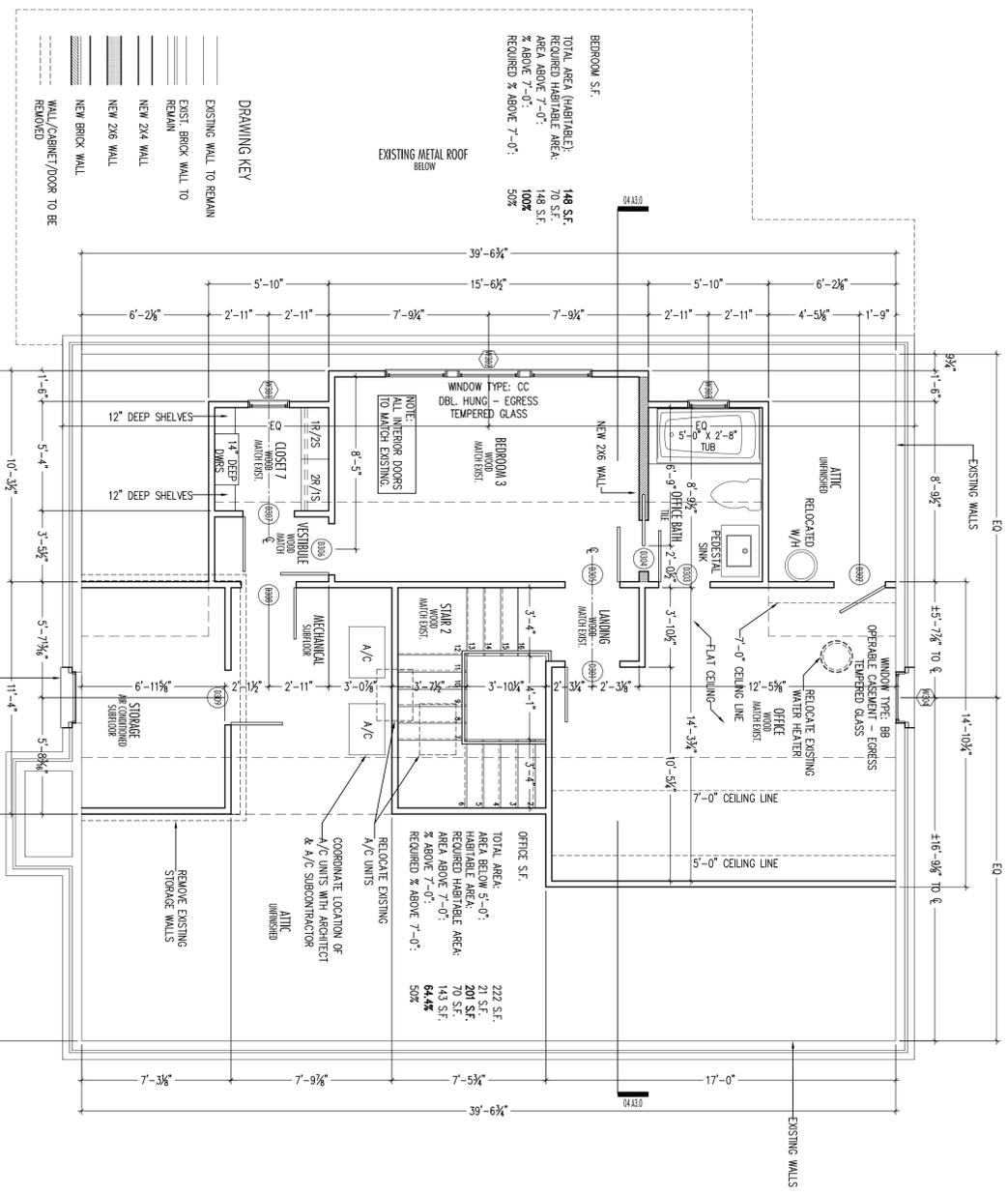
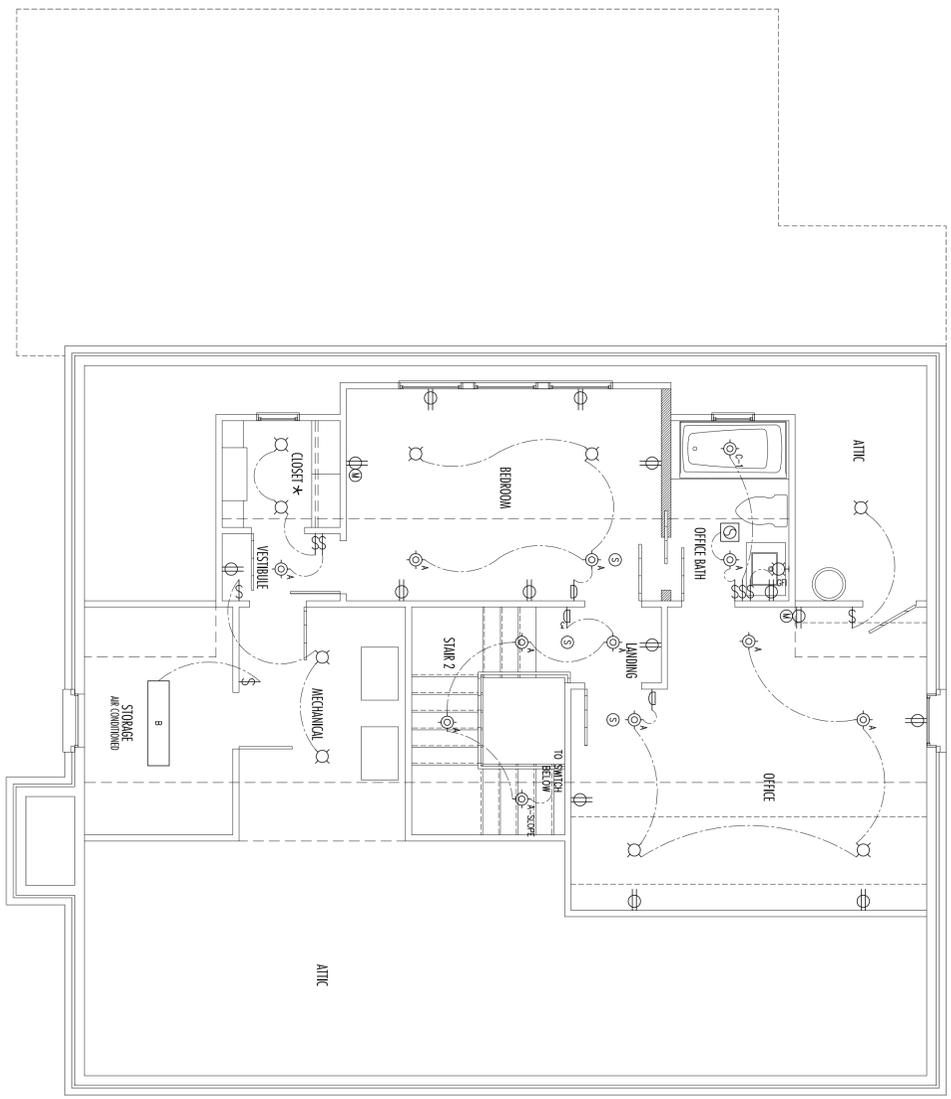
RELEASED FOR:
RDPD RENOV
PERMIT & CONSTRUCTION 01.27.16

THIRD FLOOR PLANS
ARCHITECTURAL PLAN
A2.1
McCARTY BISHOP RESIDENCE

SYMBOLS:

- ⊕ DUPLEX OUTLET
- ⊕ DUPLEX OUTLET WITH GROUND
- ⊕ 1/2" WATER PROOF IN SERVICE DUPLEX OUTLET WITH GROUND FAULT CIRCUIT PROTECTION
- ⊕ 220V DUPLEX OUTLET - 220 VOLT
- ⊕ FLOOR PLUG
- ⊕ SWITCH
- ⊕ DIMMER SWITCH
- ⊕ TELEPHONE JACK
- ⊕ DATA JACK
- ⊕ HDMI CABLE OR COAX CABLE FOR AUDIO/VIDEO. PROVIDE FOR CABLE BOX NEARBY. VERIFY W/ OWNER
- ⊕ MEDIA OUTLET - FILL, DROP
- ⊕ FULL DROP = ONE CAT5E CABLE FOR TELEPHONE AND NETWORK, ONE CAT5E COAXIAL CABLES FOR CABLE TV, SATELLITE, AND HDTV.
- ⊕ SMOKE DETECTOR WITH 110 V BATTERY
- ⊕ JUNCTION BOX
- ⊕ SECURITY KEY PAD
- ⊕ GAS
- ⊕ RECESSED DOWNLIGHT INCANDESCENT
- ⊕ INSULATED DOWNLIGHT REFLECTOR - 101320
- ⊕ 79W PAR 30 FL
- ⊕ SAME AS TYPE A EXCEPT FOR SLOPED CEILING
- ⊕ RECESSED SHOWER LOW VOLTAGE
- ⊕ INSULATED DOWNLIGHT REFLECTOR - 2090LV
- ⊕ 50W MR16-C-ENV
- ⊕ SAME AS TYPE C EXCEPT FOR SLOPED CEILING
- ⊕ RECESSED LOW VOLTAGE
- ⊕ LIGHTOLER 2090LV
- ⊕ 50W MR16-C-ENV
- ⊕ 50W MR16-C-ENV/75*
- ⊕ SAME AS TYPE B EXCEPT 0' CEILING (BY ALLOWANCE)
- ⊕ SURFACE MOUNTED REFLECTOR - W/AL (BY ALLOWANCE)
- ⊕ DECORATIVE FINNIE SELECTED BY OWNER
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/LIGHT
- ⊕ EXHAUST FAN/LIGHT/HEATER
- ⊕ UNDER-CABINET LIGHTING (AUCCON)
- ⊕ SECURITY LIGHTING
- ⊕ CEILING FAN
- ⊕ TRACK LIGHTING
- ⊕ LIGHTOLER LUMINEX 2'X4' OR 1'X4' (AS INDICATED ON DIMS)
- ⊕ SURFACE MOUNTED FLUORESCENT A - #10310 OFFSHORE #10350 WHITE B - #11035 OFFSHORE#10356 WHITE C - #11035 OFFSHORE#10356 WHITE E81 F32 1839*41
- * COMPLY W/ 2008 NEC 410.16
- * COMPLY W/ 2008 NEC 210.8, 210.12, 210.52, & 406.11

LIGHTING FIXTURES:



DOOR SCHEDULE - 1ST FLOOR

KEY	W	H	T	MATERIAL	TYPE	REMARKS	NOTES	LOCATION	ROOM	GLASS
D101	3'-0"	6'-8"	1 1/2"	CLAD	C	OPERABLE FRENCH DOOR (LEFT-HINGING)	INSWING	EXTERIOR	STUDY	TEMP.
D102	6'-0"	6'-8"	1 1/2"	CLAD	B	PAIR OF 3'-0" X 6'-8" FRENCH DOORS	INSWING - DOORS	EXTERIOR	BACK ENTRY	TEMP.
D103	9'-0"	6'-8"	1 1/2"	CLAD	A	(3) 3'-0" X 6'-8" FRENCH DOORS	INSWING - MIDDLE	EXTERIOR	STUDY	TEMP.
D104	2'-8"	6'-8"	1 1/2"	WOOD	E	MIDDLE LINT OPERABLE (RIGHT-HINGING)	FIXED - FLANKING	EXTERIOR	BATH	-
D105	2'-8"	6'-8"	1 1/2"	WOOD	E	MATCH EXISTING DOOR STYLE	-	INTERIOR	BAR	-

WINDOW SCHEDULE - 1ST FLOOR**

KEY	W	H	J	HEAD HEIGHT	MATERIAL	TYPE	REMARKS	DESCRIPTION	NOTES	ROOM NAME	GLASS
W101	4'-0"	7'-0"	V.I.F.	7'-8"	CLAD	AA	ALIGN WINDOW HEAD W/ ADJACENT FRENCH DOORS	FIXED - CASEMENT	-	SUNROOM	TEMP.
W102	4'-0"	7'-0"	V.I.F.	7'-8"	CLAD	AA	ALIGN WINDOW HEAD W/ ADJACENT FRENCH DOORS	FIXED - CASEMENT	-	SUNROOM	TEMP.
W103	4'-0"	7'-0"	V.I.F.	7'-8"	CLAD	AA	ALIGN WINDOW HEAD W/ ADJACENT FRENCH DOORS	FIXED - CASEMENT	-	SUNROOM	TEMP.
W104	1'-8"	3'-0"	MATCH EXIST.	6'-8"	CLAD	BB	-	OPERABLE - PUSHOUT CASEMENT (RIGHT-HINGING)	BRICKMOULD	KITCHEN	-
W105	1'-8"	3'-0"	MATCH EXIST.	6'-8"	CLAD	BB	-	OPERABLE - PUSHOUT CASEMENT (LEFT-HINGING)	BRICKMOULD	KITCHEN	-

DOOR SCHEDULE - 2ND FLOOR

KEY	W	H	T	MATERIAL	TYPE	REMARKS	NOTES	LOCATION	ROOM	GLASS
D201	3'-0"	6'-8"	1 1/2"	WOOD	D	MATCH EXISTING DOOR STYLE	-	INTERIOR	CLOSET 6	-
D202	3'-0"	6'-8"	1 1/2"	WOOD	D	MATCH EXISTING DOOR STYLE	-	INTERIOR	NEW UTILITY	-
D203	2'-8"	6'-8"	1 1/2"	EXIST.	EXIST.	USE EXIST. SWING DOOR FOR POCKET	POCKET	INTERIOR	MASTER BATH	-

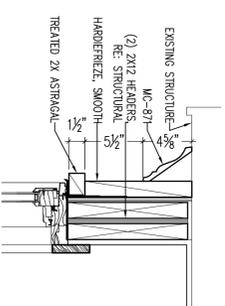
DOOR SCHEDULE - 3RD FLOOR**

KEY	W	H	T	MATERIAL	TYPE	REMARKS	NOTES	LOCATION	ROOM	GLASS
D301	2'-8"	6'-8"	1 1/2"	WOOD	E	-	-	INTERIOR	OFFICE	-
D302	2'-6"	4'-6"	1 1/2"	WOOD	F SW	COMPARE HEIGHT W/ CEILING CONDITION	-	INTERIOR	ATTIC	-
D303	2'-6"	6'-8"	1 1/2"	WOOD	F	-	-	INTERIOR	OFFICE BATH	-
D304	2'-6"	6'-8"	1 1/2"	WOOD	F	-	-	INTERIOR	OFFICE BATH	-
D305	2'-8"	6'-8"	1 1/2"	WOOD	E	-	-	INTERIOR	BEDROOM 3	-
D306	2'-6"	6'-8"	1 1/2"	WOOD	F	-	-	INTERIOR	VESTIBULE	-
D307	2'-6"	6'-8"	1 1/2"	WOOD	F	-	-	INTERIOR	CLOSET 7	-
D308	2'-8"	6'-8"	1 1/2"	WOOD	E	-	-	INTERIOR	ATTIC	-
D309	2'-8"	6'-8"	1 1/2"	WOOD	E	-	-	INTERIOR	STORAGE	-

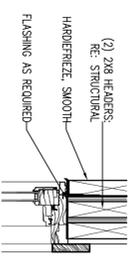
WINDOW SCHEDULE - 3RD FLOOR**

KEY	W	H	J	HEAD HEIGHT	MATERIAL	TYPE	REMARKS	DESCRIPTION	NOTES	ROOM NAME	GLASS
W301	2'-0"	2'-6"	4%	6'-8"	CLAD	CC	-	FIXED	-	CLOSET 7	-
W302	10'-4 1/2"	5'-0"	4%	±6'-5"	CLAD	AA	(3) 3'-1 1/2" X 5'-0" LINTS W/ 8" MULL BETWEEN HEAD HEIGHT TO ALIGN W/ BOTTOM OF FRIEZE	DOUBLE HUNG - EGRESS	-	BEDROOM 3	TEMP.
W303	2'-0"	2'-6"	4%	6'-8"	CLAD	CC	-	FIXED	-	OFFICE BATH	-
W304	1'-6"	4'-0"	V.I.F.**	6'-8"	CLAD	DD	EGRESS	OPERABLE - PUSHOUT CASEMENT (LEFT HINGING)	BRICKMOULD	OFFICE	-

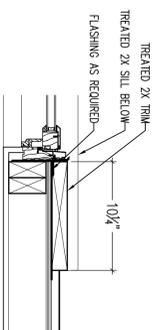
**NOTES:
1. CONFIRM ALL JAMB DETAILS W/ ARCHITECT
2. HINGING DIRECTION IS VIEWED FROM EXTERIOR



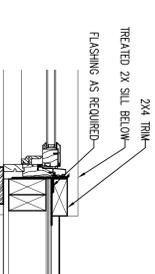
D. HEAD @ SUNROOM



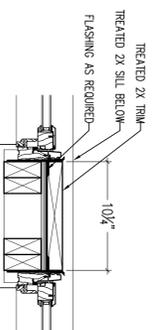
C. HEAD @ 3RD FLOOR



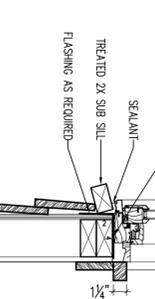
B. JAMB



B. JAMB



B. JAMB

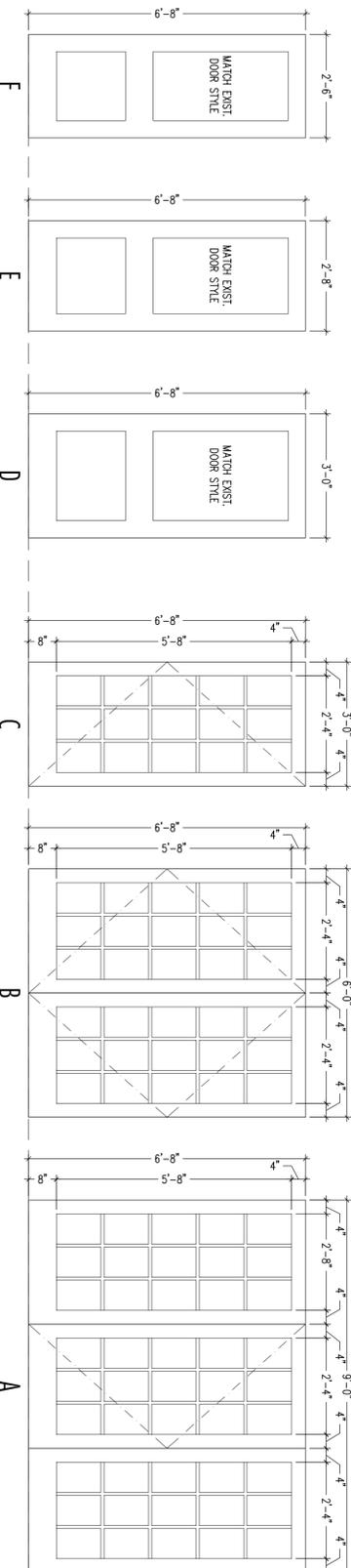


A. SILL

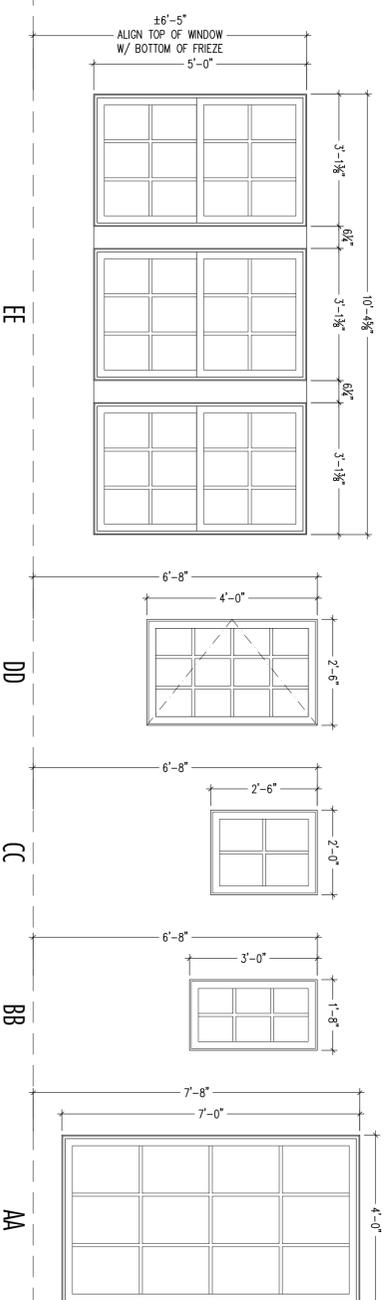
04 TYP. WINDOW DETAILS @ SUNROOM
SCALE: 1/2"=1'-0"

03 TYP. WINDOW DETAILS @ 3RD FLOOR ADDITION
SCALE: 1/2"=1'-0"

02 INTERIOR DOOR ELEVATIONS
SCALE: 1/2"=1'-0"

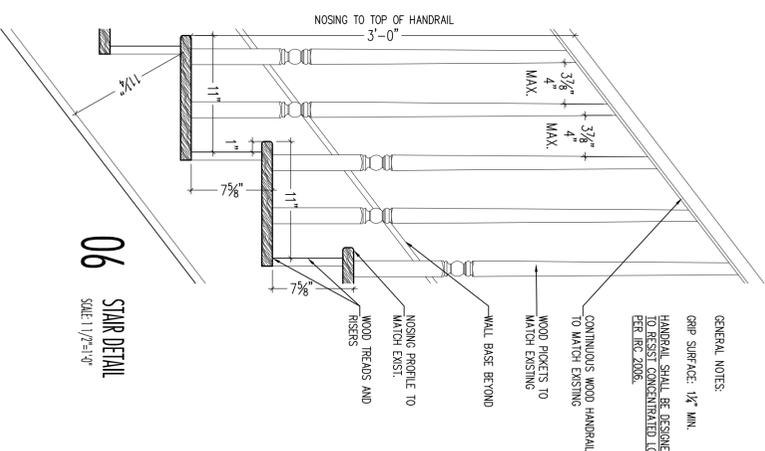


01 EXTERIOR DOOR ELEVATIONS
SCALE: 1/2"=1'-0"



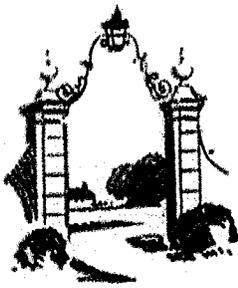
05 WINDOW ELEVATIONS
SCALE: 1/2"=1'-0"

06 STAIR DETAIL
SCALE: 1/2"=1'-0"



The contractor shall be responsible to verify the dimensions and conditions of the existing structure and materials before construction. The contractor shall be responsible for the structural design in any new or altered portion of the structure. The contractor shall be responsible for the structural design in any new or altered portion of the structure. The contractor shall be responsible for the structural design in any new or altered portion of the structure.

Officers
Terry McPhail
President
Penny Pressler
Vice President
Allison Strawn
Secretary
Anthony DeLuca
Treasurer



River Oaks

Property Owners, Inc.

3923 San Felipe Road, 77027
P.O. Box 22632
Houston, Texas 77227
Phone: 713-622-0001
Fax: 713-622-3221

Email: [REDACTED]
Website: www.ropo.org

Directors
W. G. 'Trey' Griggs
Wil Harris
Audrey Loweth
Nicole Perdue
Richard 'Dick' Wynne

Gary C. Mangold
General Manager

January 22, 2016

Mr. John Bishop & Ms. Melina McCarty
2111 Del Monte Drive
Houston, TX 77019

RE: Extension of Preliminary Approval: 2111 Del Monte Drive, Lot 17, Block 44, Section 3:

Dear Mr. Bishop & Ms. McCarty:

On October 10, 2013, The Board of Directors of River Oaks Property Owners, Inc. (ROPO) reviewed and approved your submitted plans for a half-story addition to your home. Typically this Preliminary Approval expires one year from the date of issuance. This initial approval was given based on a design for a new home that did not show any violations of deed restrictions. ROPO staff has received the current plans intended to be submitted for City of Houston building permits. In the time since this approval was given, it appears that the overall design of the home modifications have not been altered and that no deed restrictions issues have been created. ROPO feels that it is appropriate to issue a 90 day extension of the Preliminary Approval from the date of this letter in order to seek City building permits.

This letter does not absolve the homeowner, applicant or contractor from following our typical Construction follow-up requirements such as turning in the required documentation in order to receive a Written Approval to Begin Construction or the required land surveys once construction is underway. We intend to verify throughout the process that the home being built matches the plans given Preliminary Approval. Any deviation from these plans will need formal submission of revised plans for review by the Board of ROPO.

As always, if we can be of any assistance, please feel free to call.

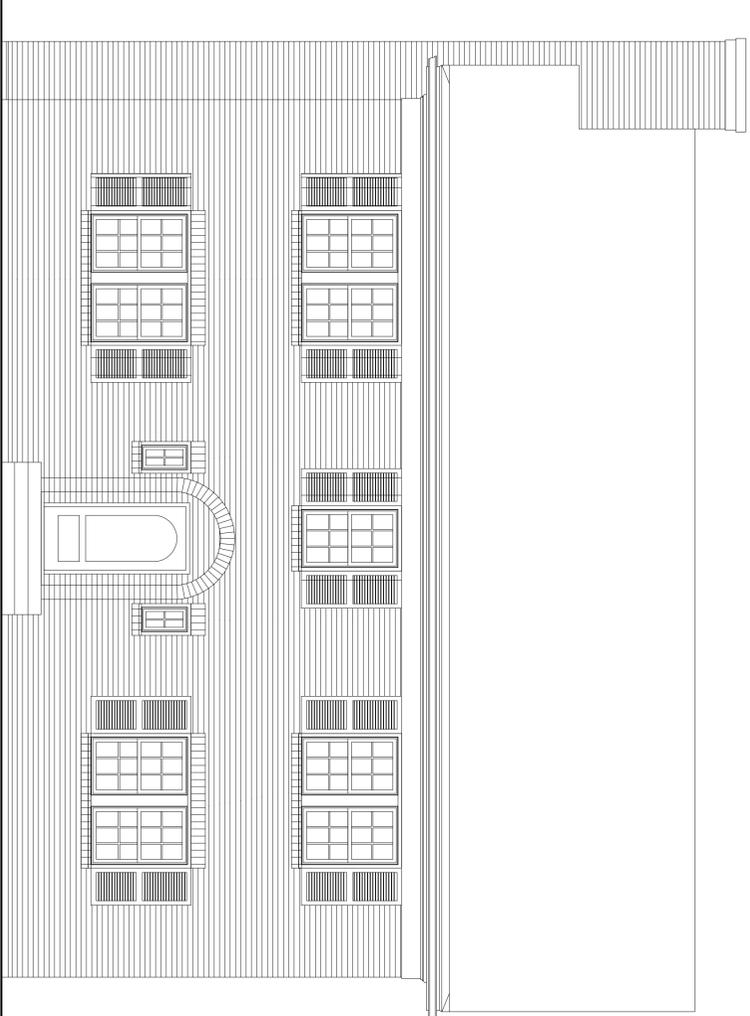
Sincerely,

RIVER OAKS PROPERTY OWNERS, INC.

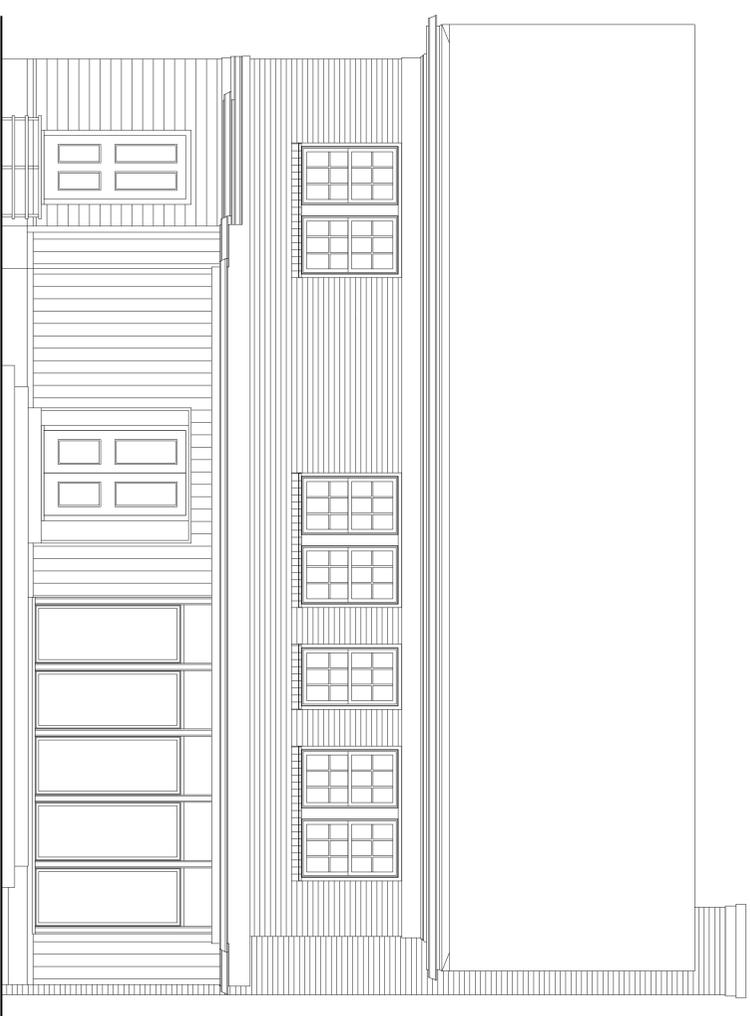
Gary C. Mangold
General Manager

cc: Restrictions Committee

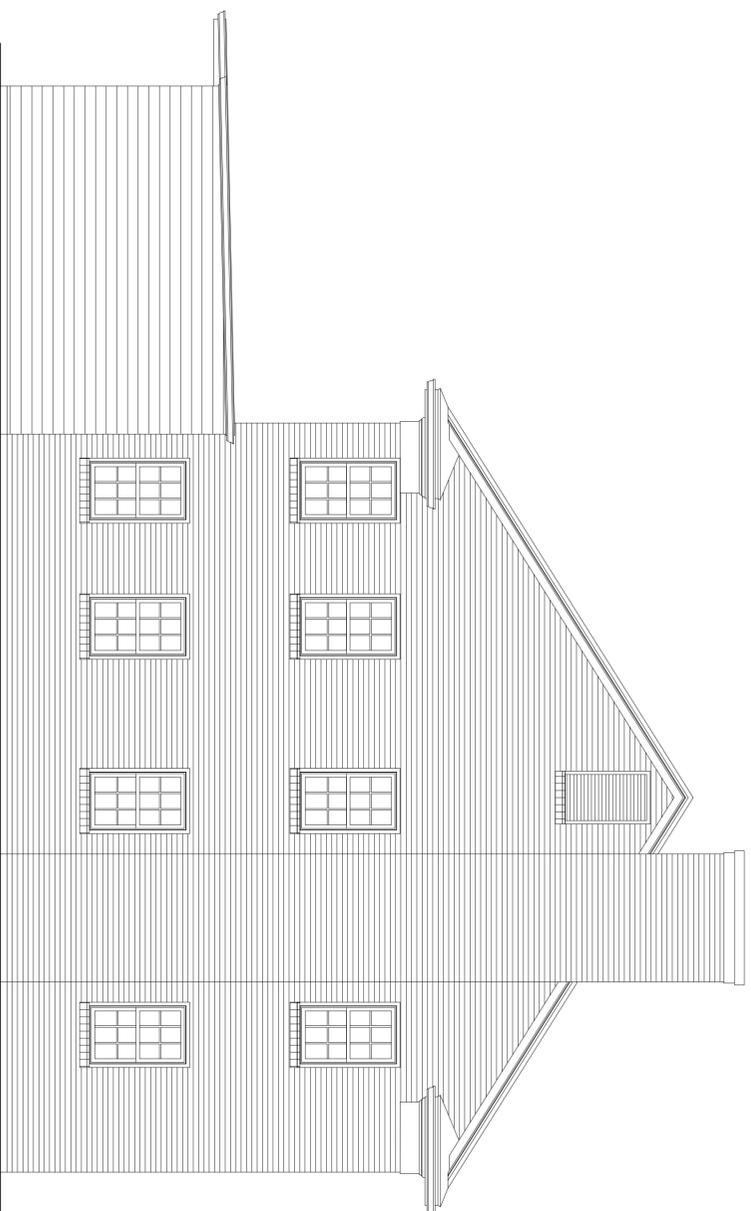
Alan Bunker
Miller Dahlstrand DeJean Architects
611 W. 22nd Street, Suite 208
Houston, TX 77008



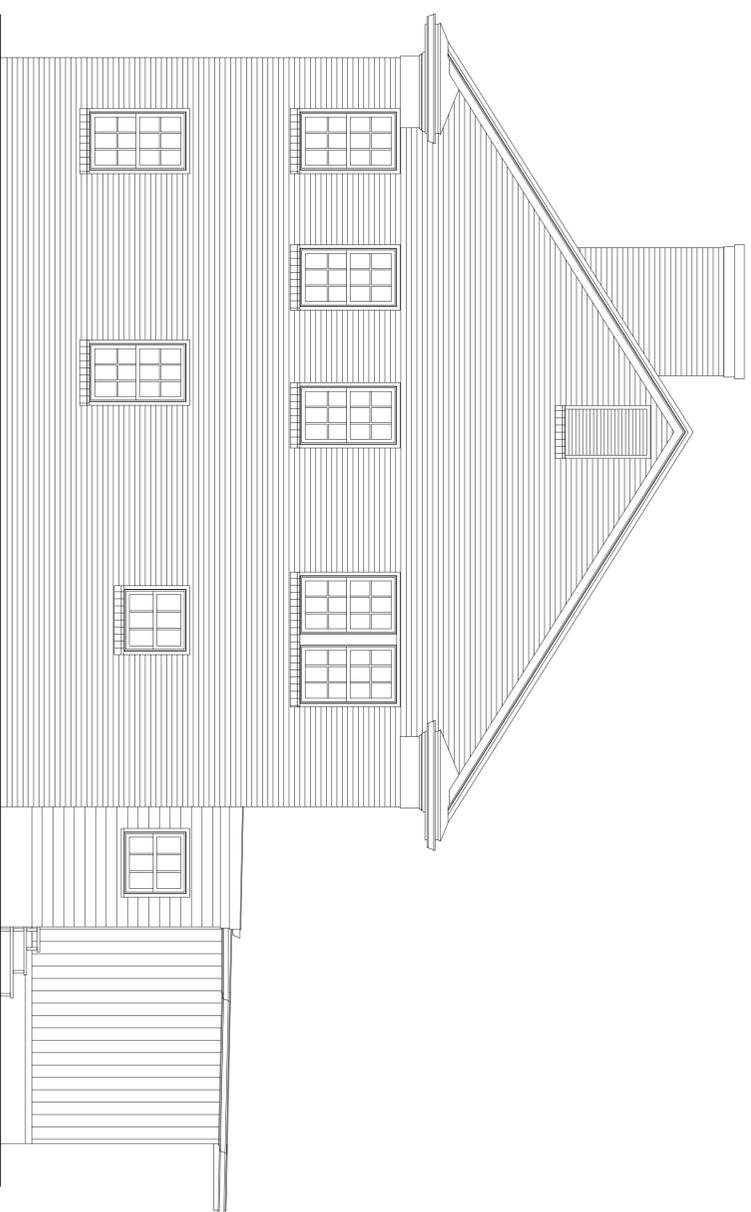
04 ASBUILT NORTH (FRONT) ELEVATION
SCALE: 1/4"=1'-0"



03 ASBUILT SOUTH (BACK) ELEVATION
SCALE: 1/4"=1'-0"



02 ASBUILT EAST (SIDE) ELEVATION
SCALE: 1/4"=1'-0"



01 ASBUILT WEST (SIDE) ELEVATION
SCALE: 1/4"=1'-0"



**McCARTY
BISHOP
RESIDENCE**
2111 DEL MONTE

**MILLER
DAHLSTRAND
DEJEAN
ARCHITECTS**
3801 KIRBY SUITE 240
HOUSTON, TX 77098
P 713 . 520 . 7160

MDA

STRUCTURAL ENGINEER:
BECLIN ENGINEERING
281.654.8441

The contractor shall be responsible to verify the accuracy of the quantity of materials required for construction. The architect is not responsible for the accuracy of the quantity of materials required for construction. The architect is not responsible for the accuracy of the quantity of materials required for construction.

RELEASED FOR:
ROD RENOY 01.20.16
PERMIT & CONSTRUCTION 01.27.16

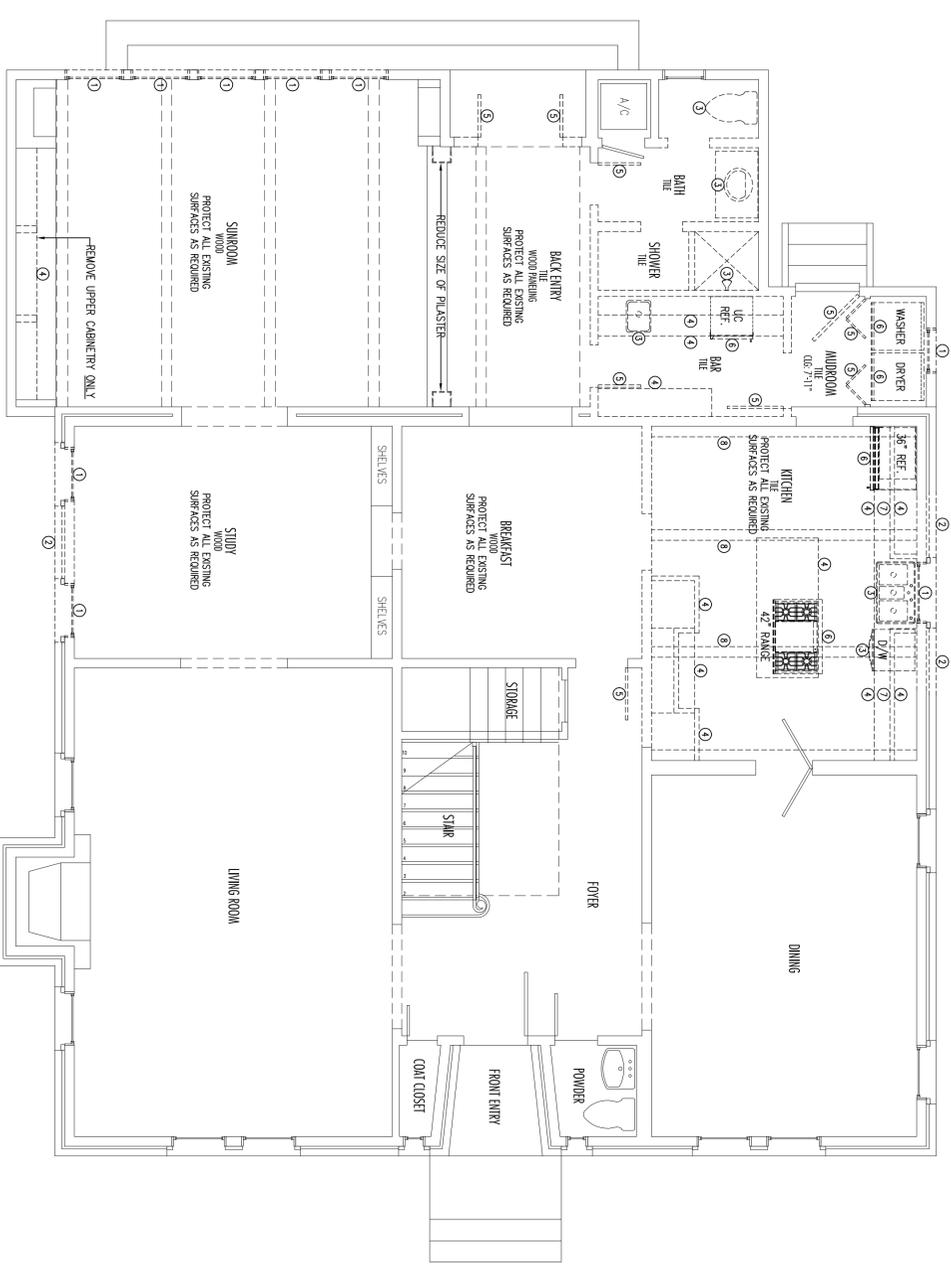
ASBUILT EXTERIOR ELEVATIONS

AB3.0
ARCHITECTURAL DRAWING
McCARTY BISHOP RESIDENCE
2111 DEL MONTE DRIVE HOUSTON, TX 77098

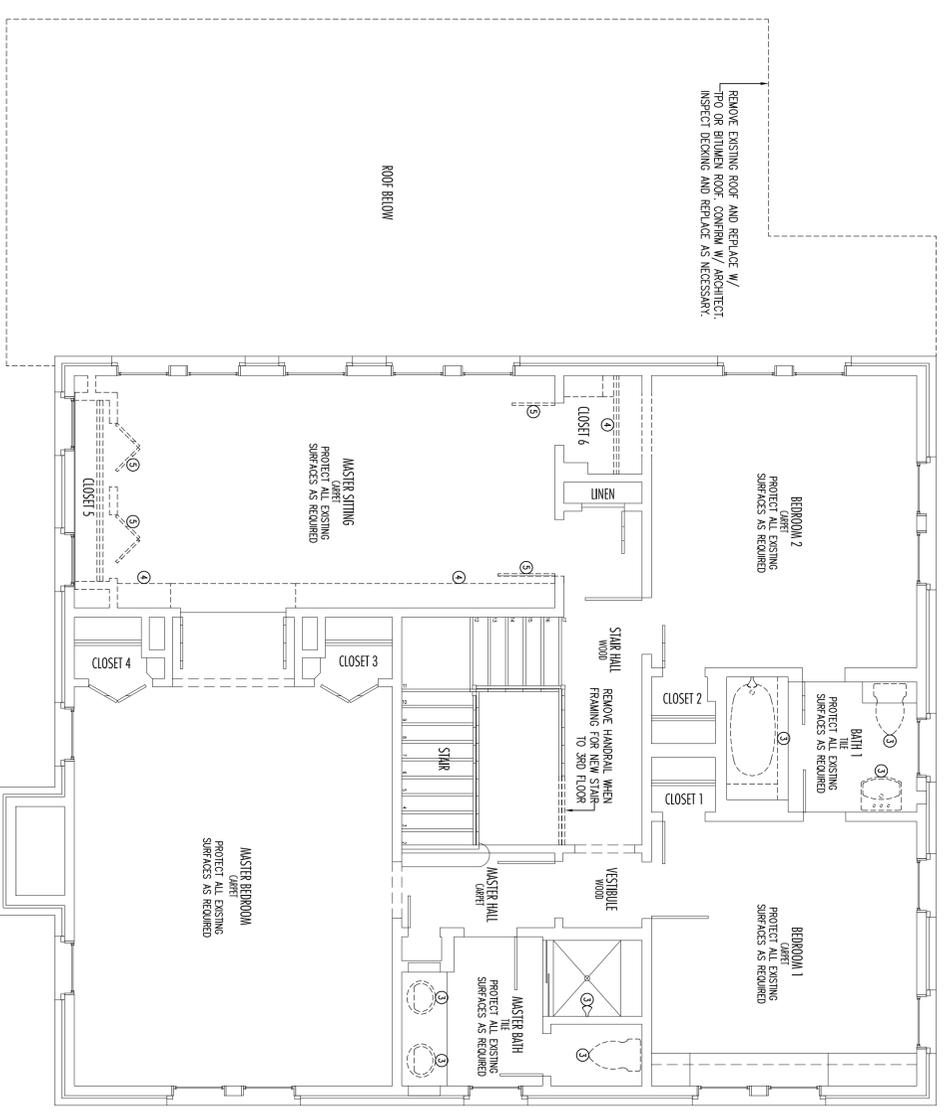


RELEASED FOR:
RON BERRY 01.20.16
PERMIT & CONSTRUCTION 01.27.16

The contractor shall be responsible to verify the structural condition of the existing structure and to provide the necessary structural details for the proposed renovation. The contractor shall be responsible for the structural design of any new or altered structural members. The contractor shall be responsible for the structural design of any new or altered structural members. The contractor shall be responsible for the structural design of any new or altered structural members.



01 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"



02 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
- ALL PARTITIONS SHOWN DASHED SHALL BE REMOVED. PULL ALL ELECTRICAL, PHONE, AND DATA CABLES FOR SUBCONTRACTOR TO REDISTRIBUTE TO NEW LOCATION.
 - ALL EXISTING OUTLETS TO MEET CURRENT CODES AND REGULATIONS.
 - PROTECT EXISTING FLOORING, PATCH AS NEEDED.
 - VERIFY LOADING W/ STRUCTURAL DRAWINGS PRIOR TO REMOVING WALLS. PROVIDE TEMPORARY BRACING AS NEEDED.

- DRAWING KEY:**
- EXISTING WALL TO REMAIN
 - DEM EXST. WALL/CABS.
- SYMBOL KEY:**
- REMOVE EXISTING WINDOW
 - REMOVE EXISTING BRICK AND STORE FOR REUSE
 - REMOVE EXISTING PLUMBING FIXTURES AND CAP ALL PLUMBING LINES AND REMOVE AS NECESSARY TO ACCOMMODATE NEW FIXTURES. STORE ALL PLUMBING FIXTURES INCLUDING SINKS, TOILETS, FAUCETS, ETC. FOR POSSIBLE REUSE. CONTRAM W/ OWNER.
 - REMOVE EXISTING BUILT-IN CABINETRY
 - REMOVE EXISTING DOOR AND STORE FOR POSSIBLE REUSE
 - REMOVE EXISTING EQUIPMENT AND STORE FOR POSSIBLE REUSE. CONTRAM W/ OWNER.
 - REMOVE EXISTING FLOOR DOWN
 - REMOVE EXISTING BOXED BEAMS



**MILLER
DAHLSTRAND
DEJEAN**
ARCHITECTS

McCARTY-BISHOP RESIDENCE
FRONT (NORTH) ELEVATION



**MILLER
DAHLSTRAND
DEJEAN
ARCHITECTS**

MCCARTY-BISHOP RESIDENCE
BACK (SOUTH) ELEVATION 01





MILLER
DAHLSTRAND
DEJEAN
ARCHITECTS

MCCARTY-BISHOP RESIDENCE
WEST ELEVATION



MILLER
DAHLSTRAND
DEJEAN
ARCHITECTS

McCARTY-BISHOP RESIDENCE
EAST ELEVATION 01



MILLER
DAHLSTRAND
DEJEAN
ARCHITECTS

McCARTY-BISHOP RESIDENCE

EAST ELEVATION 02