

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 1748 North Blvd.

Historic District / Landmark Boulevard Oaks Historic District HCAD # 053045000004

Subdivision Ormond Place Lot _____ Block 5

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Blake Winston

Company _____

Mailing Address 1110 Milford Street
Houston, TX 77006

Phone 713-516-0111

Email _____

Signature *Blake Winston*

Date 10-24-2016

APPLICANT (if other than owner)

Name George Cole

Company George Allen Cole Design Workshop

Mailing Address 1312 Live Oak Street, #218
Houston, TX 77003

Phone 713-828-8141

Email _____

Signature *George Cole*

Date 10-20-2016

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

PROPERTY ADDRESS: 1748 North Blvd.

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- perspective

WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties

Applicant: George Cole, George Allen Cole Design Workshop; for Blake Winston, owner

Property: 1748 North Boulevard, lot 3 and 4, block 5, Ormond Place Subdivision. The property is a vacant 21,000 square foot lot (150' x 140')

Significance: The property is a vacant lot located in the Boulevard Oaks Historic District.

Proposal: New Construction – Construct a 5,286 square foot, two story residence. The residence will be brick with light stucco slurry. The roof material will be a cedar shingle roof.

Public Comment: No public comment received.

Civic Association: We are in compliance with all Ormand Place deed restrictions

Description:

Setbacks: The house will be set back 40' from the south (front) property line (except a 30" bump out at one story dining room piece) (prevailing), 31'-2" from the east property line (5' from the east property line at the garage), 5'-6" from the north (rear) property line (to garage), 6'-6" from the west property line at the main house.

Foundation: The residence will be built on a concrete slab with a finished floor height of 1'-0"+ above grade.

Windows/Doors: The house will contain a combination of custom metal and wood fabricated windows (painted a light, off white color). The windows will have muntin/mullion divisions typical of a more traditional window/door with typical traditional detailing. Exterior single swing doors and French doors will also be custom fabricated metal frames with steel muntins (painted). The windows will be a mix of fixed and casement style outswings. The entry will be a custom fabricated architectural bronze unit, containing a single swing door with sidelights and transom.

Exterior Materials: The house will be entirely comprised of brick with a light, color impregnated stucco slurry over it. The front entry porch will have a thin steel metal trellis (painted) that will be covered in ivy. The porte cochere will be brick with stucco slurry, with an eventual ivy covering.

Roof: The main portion of the house will feature a hip style roof with cedar shingles, or a grey slate tile. The hip slopes will be 4/12 or 5/12 with no overhang. That portion of the roof will contain copper, half round gutters and downspouts. The porte cochere and garage/outdoor living areas will be brick columns with a wood trellis and low .25/12 slope metal (or equiv.) roof behind (not visible from street). Those low slope roof areas will receive a layer of synthetic grass over a screed layer for drainage.

Elevation:

(Front/South) The front elevation will be comprised of a flat mass for the main house/entry porch, and a projected mass for the study/2nd floor bedroom and dining room. There will be a light metal trellis across the entry, which will eventually be covered in climbing ivy. The East elevation will feature a porte cochere, which will also be covered in ivy. The garage is located at the rear of the lot, and attached only via covered porch. The first floor will have a ceiling height of 10'-0". The second floor will have a ceiling height of 9'-0". The overall ridge height is 27'-2".

1748 North Boulevard – Rendering of Proposed Residence



Exterior Material Sample Detail – Brick with Stucco Slurry



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1748 North Boulevard – Photos of Immediate Context

Not pictured: 1750 North Blvd (aka 1748 North / lot 3, block 5) the vacant neighboring lot to the west was [approved by the HAHC](#) for a new single-family residence in May 2015. At the time of the Historic District survey 1748 North was a double lot under single ownership. Currently, lot 3 and lot 4 are under separate ownership, which is not yet reflected on HCAD. This COA application is for a new single-family residence on the eastern lot 4, which will retain the 1748 North address.



1748 North – Vacant – Subject Property



1728 North – Contributing - East Neighbor



1720 North - Contributing



1735 North – Contributing – Directly Across Street



1745 North – Noncontributing – b. 1994



1752 North – Noncontributing – b. 1994

Ormond Place Deed Restrictions (Setbacks)

(10) The exterior wall surfaces of all dwellings hereafter erected, reconstructed, or reconstituted on a Lot, a Building Site, or a Townhouse Lot shall be of at least fifty-one percent (51%) masonry construction, and, in the case of Townhouses which are erected or constructed on or within five feet (5') of any boundary line of the Townhouse Lot upon which such Townhouse is situated, the exterior walls of such Townhouse which are so situated shall be one hundred percent (100%) masonry construction. No residence dwelling or other improvements, including, without limitation, the galleries, porches, porte cocheres, steps, projections and every other permanent part of such dwellings, shall hereafter be erected or maintained upon any Lot or Building Site closer than twenty-five feet (25') to the boundary line of such Lot or Building Site abutting Bissonnet Avenue, South Boulevard, North Boulevard, Bartsch (Milford) Avenue, Banks Avenue, or Woodhead Stree, nor (except as to Townhouses and fences) closer than five feet (5') to any other boundary line of such Lot or Building Site.

(11) No cattle, horses, hogs, rabbits, poultry or other livestock shall ever be staked or pastured or shall ever be kept or maintained upon any Lot, except for dogs, cats and other bona fide household pets; provided, however, that notwithstanding the foregoing, no raising, breeding, training or dealing in dogs, cats, or other animals shall ever be permitted on or from any Lot for commercial purposes.

122-92-1290

Boulevard Oaks Historic District

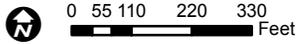
Historic District Boundary



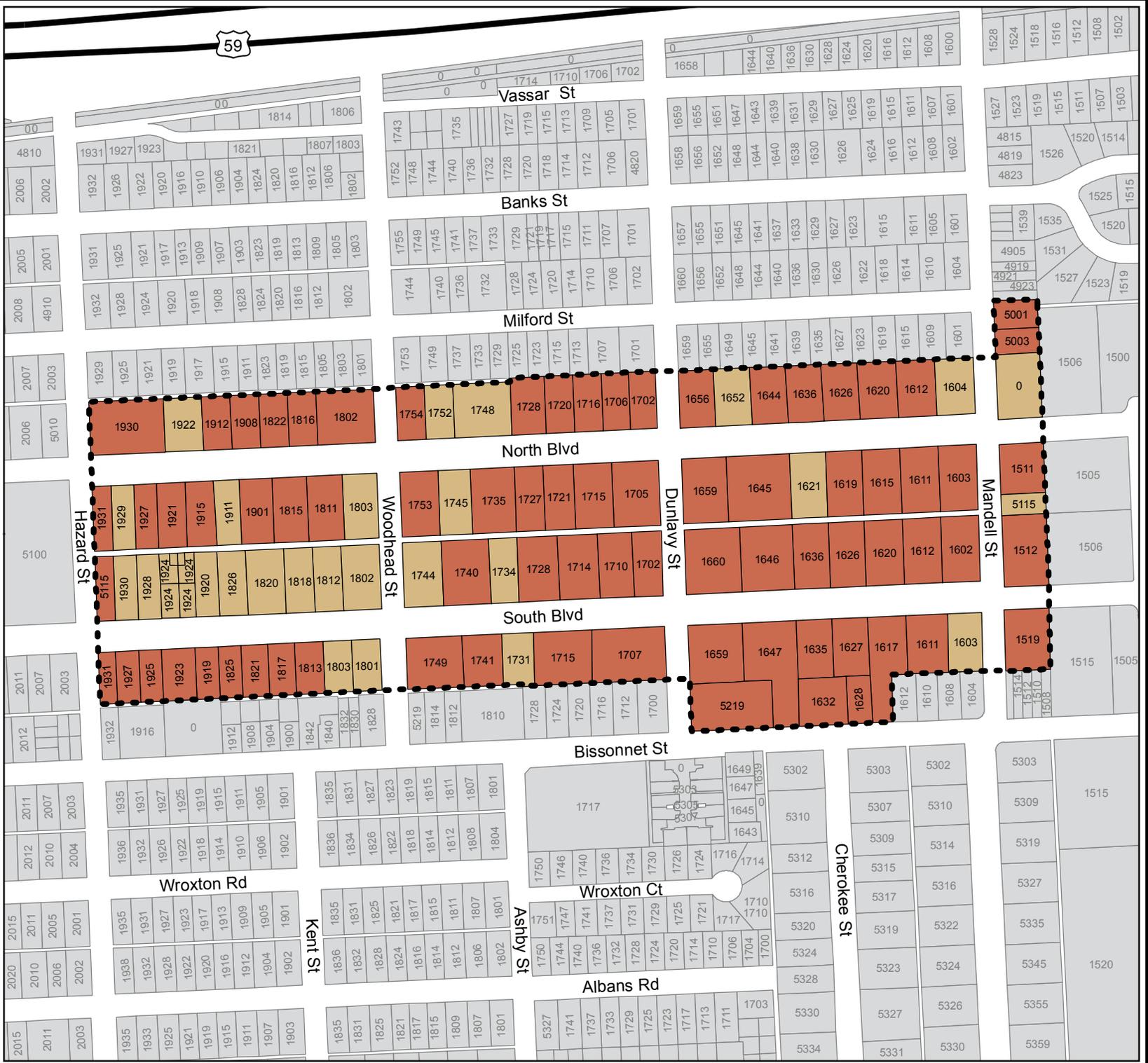
Building Classification

- Contributing
- Non-Contributing

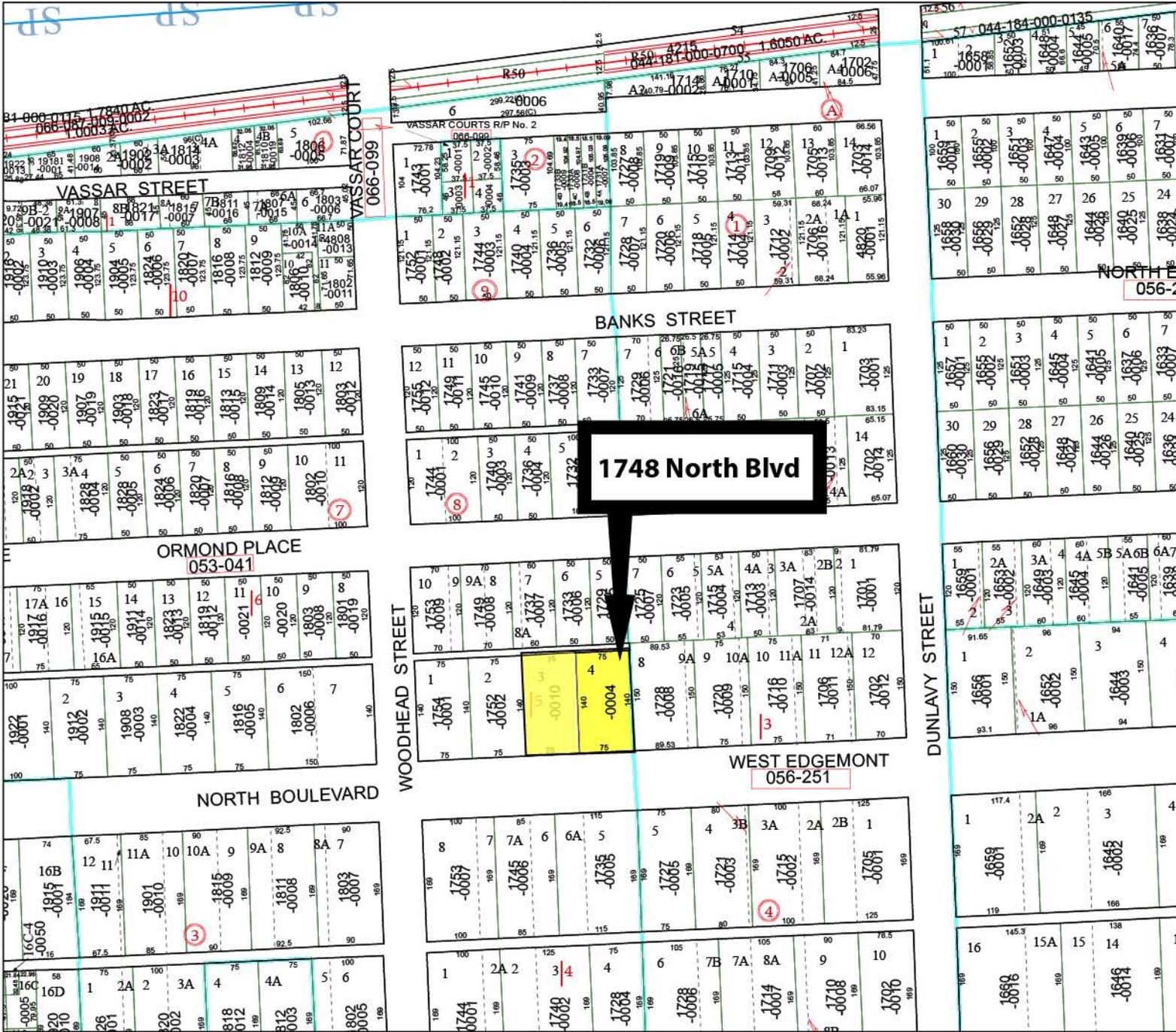
Established: December 29, 2009
 Source: GIS Services Division
 Date: May 1, 2013
 Reference: [pj17025_Boulevard_Oaks](#)



This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



5356C2



1748 North Blvd

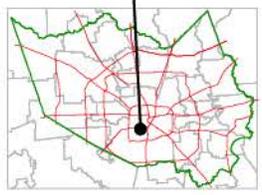
Harris County Appraisal District



0 100 200
 PUBLICATION DATE:
 10/14/2015

Geospatial or map data maintained by the Harris County Appraisal District is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and only represents the approximate location of property boundaries.

MAP LOCATION



FACET 5356C

1	2	3	4
5	6	7	8
9	10	11	12

3

5356C5

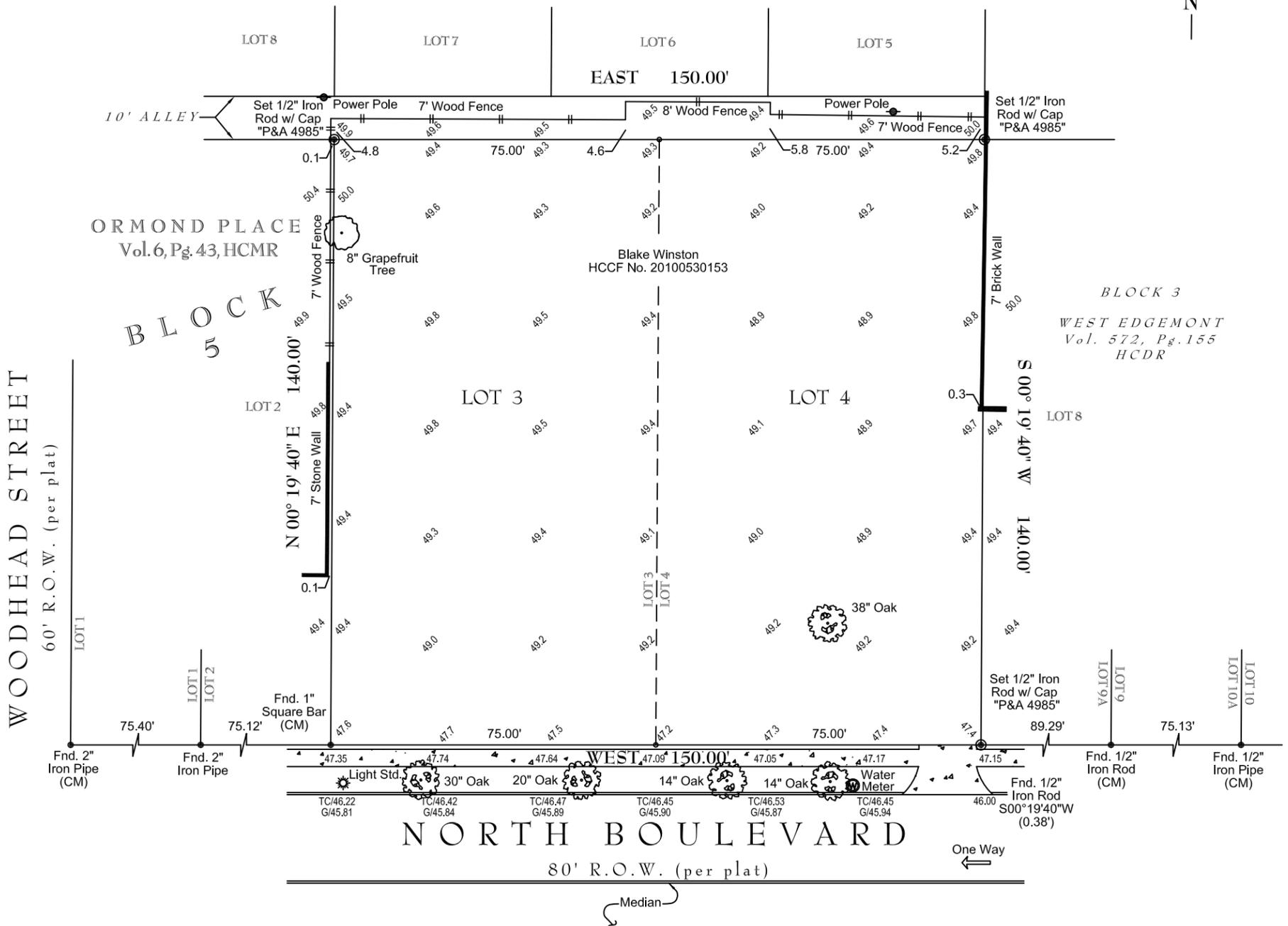
5356C7

5356C10

PROBSTFELD & ASSOCIATES

PROFESSIONAL LAND SURVEYORS

515 PARK GROVE DRIVE, SUITE 102 ▲ KATY, TEXAS 77450 ▲ (281) 829-0034 ▲ FAX (281) 829-0233



NOTES:

1. Elevations shown are based on Harris County Floodplain Reference Mark No. 040095 Elevation = 45.52' NAVD88 (2001 adjustment).
2. This survey was performed without the benefit of a current title opinion and is subject to any facts a full and accurate title search may disclose. All easements, building lines, zoning setbacks, restrictions and covenants of record may not be shown.
3. All bearings are based on front right-of-way line.

PLAT OF PROPERTY

FOR: BLAKE WINSTON
 AT: 1748 NORTH BOULEVARD • CITY OF HOUSTON
 LGL: LOTS 3 & 4, BLOCK 5
ORMOND PLACE

Volume 6, Page 43
 of the Map Records of Harris County, Texas

SCALE: 1" = 30'
 DATE: 1/24/2011 REVISED DATE: _____

This Property DOES NOT Lie within the designated 100 year Floodplain.
 PANEL NO: 48201C 0860 L
 ZONE: X EFF. DATE: 6/18/07
 BASE FLOOD ELEVATION: N/A
 LOCATED BY GRAPHIC PLOTTING ONLY AND NOT RESPONSIBLE FOR ACTUAL DETERMINATION.

THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT
 PROVIDED BY: NO TITLE COMMITMENT WAS PROVIDED
 GF#: ALL ESMT'S/BUILDING LINES MAY NOT BE SHOWN.

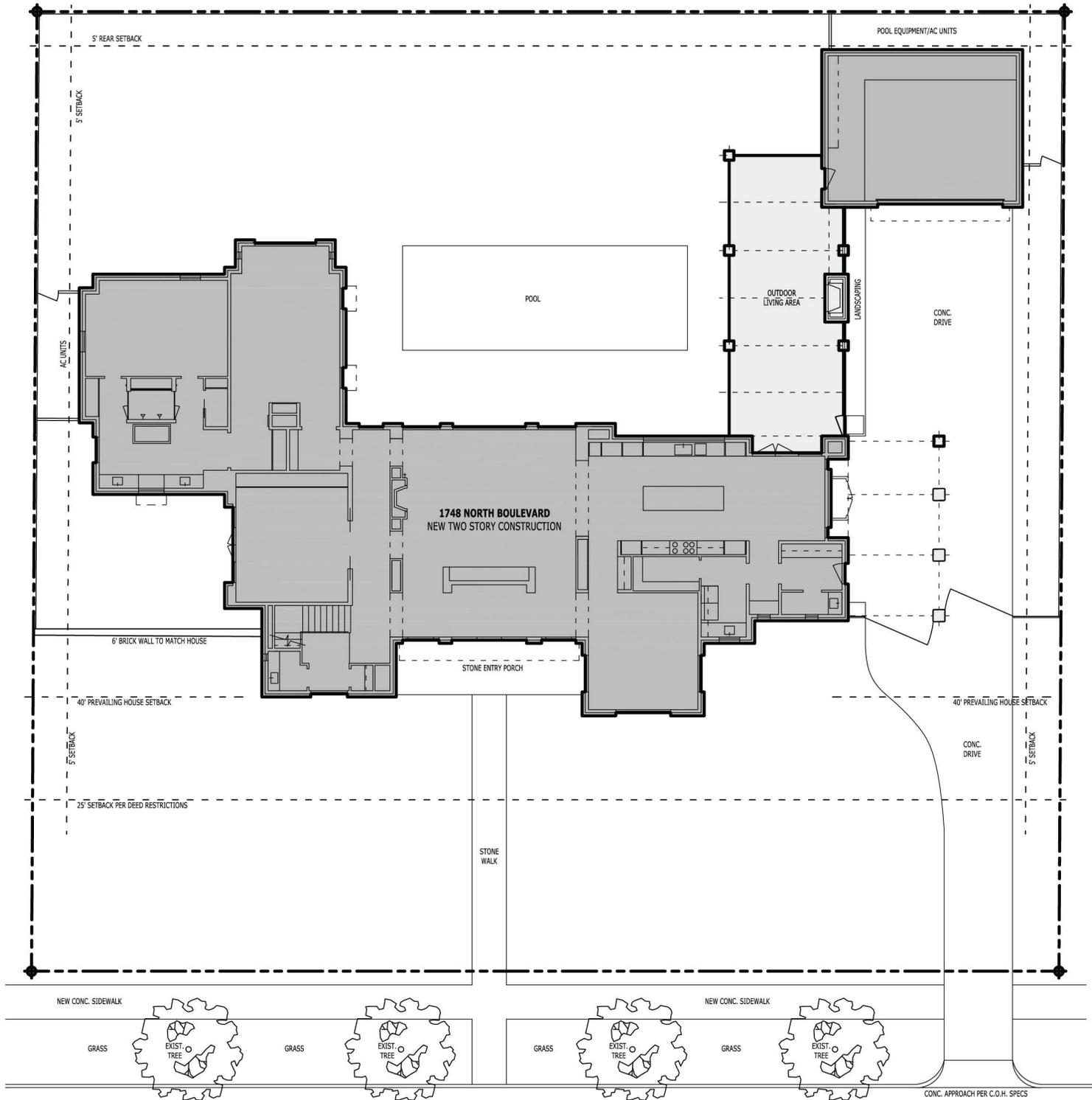
PROBSTFELD & ASSOCIATES makes no guarantee, either implied or otherwise, regarding the accuracy of information contained in this file, it is the sole responsibility of the recipient to verify and/or coordinate any changes or variations from the "Issued drawing." The "Issued drawing" is defined as a sealed and signed hard copy.

Probstfeld & Associates makes no guarantee as to the current status of data since the last field visit.

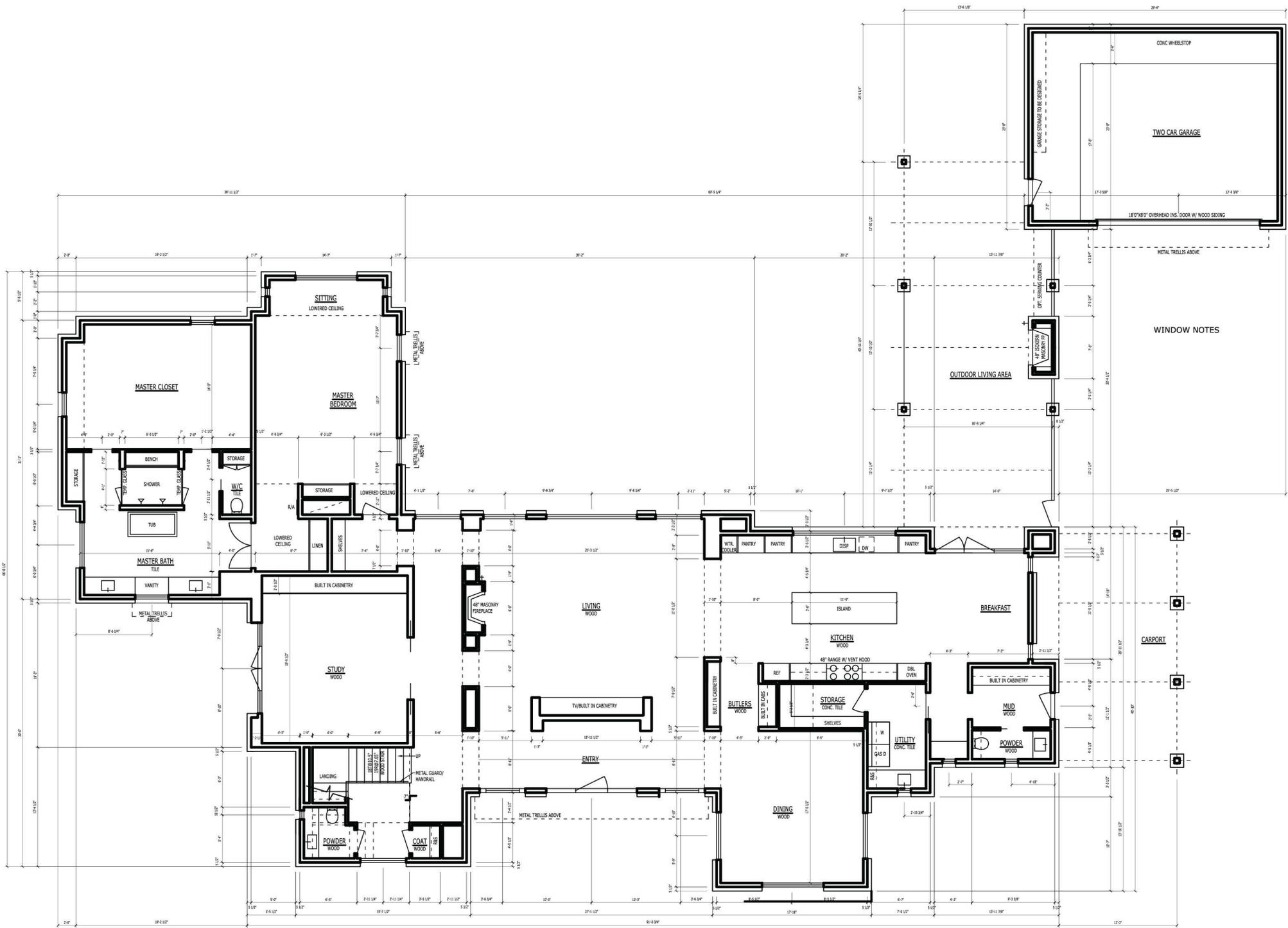
EMAIL COPY
 NOT TO BE RECORDED FOR ANY PURPOSE

JOB # 1823-004 DRAWN BY: LD

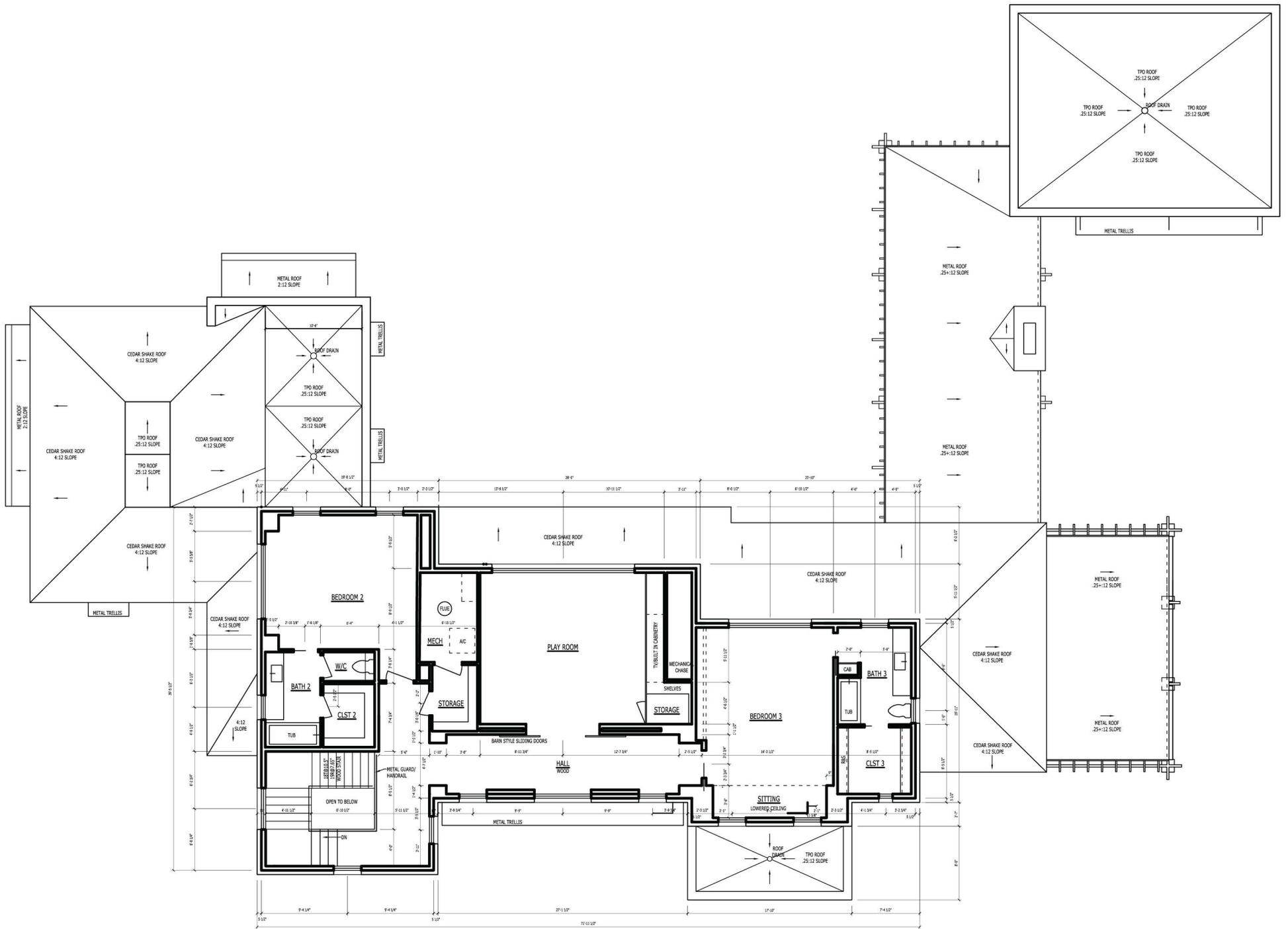
THIS SURVEY IS THE PROPERTY OF PROBSTFELD & ASSOCIATES, INC., IS CERTIFIED FOR THIS TRANSACTION ONLY, AND IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR OWNERS.



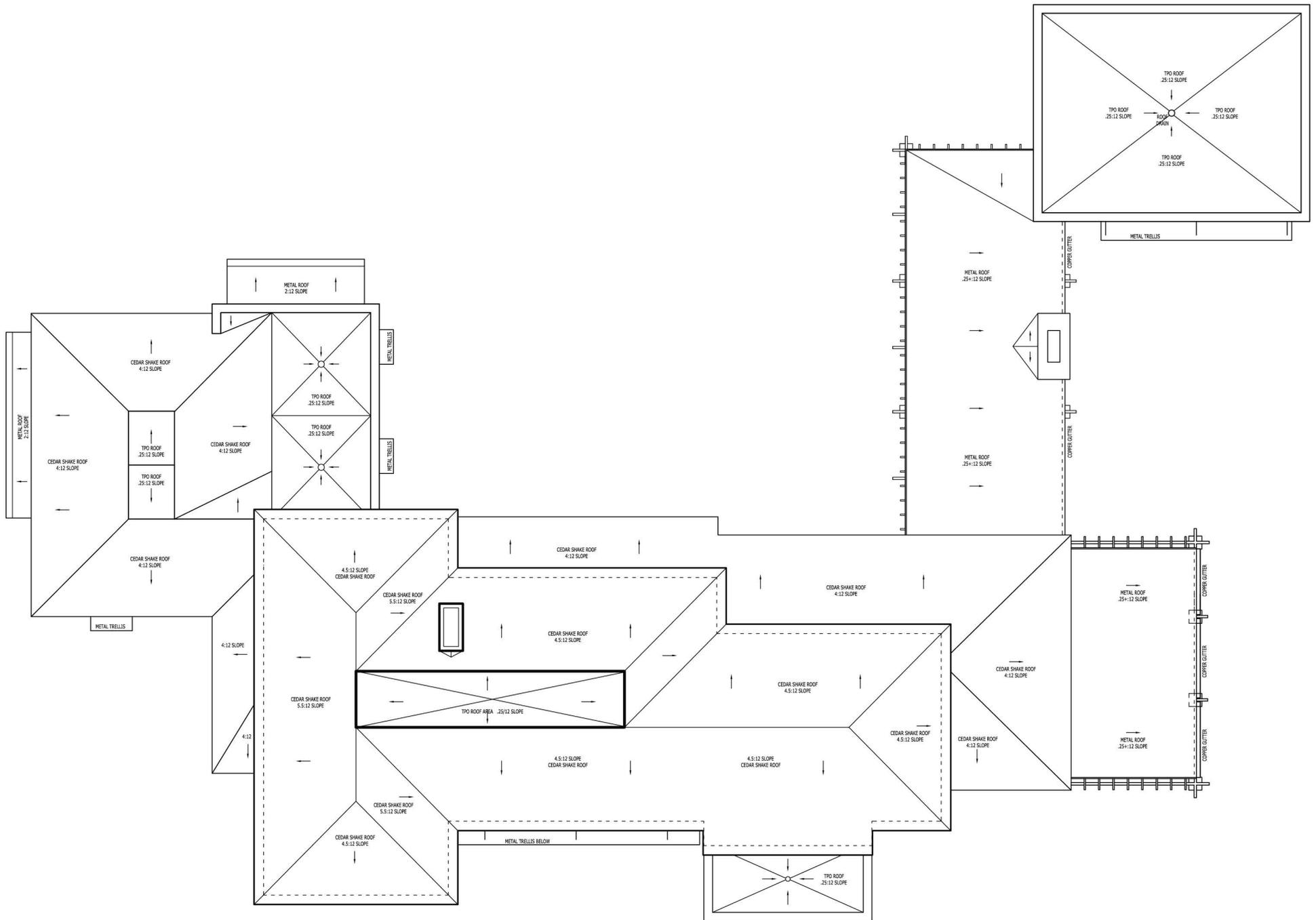
SITE PLAN



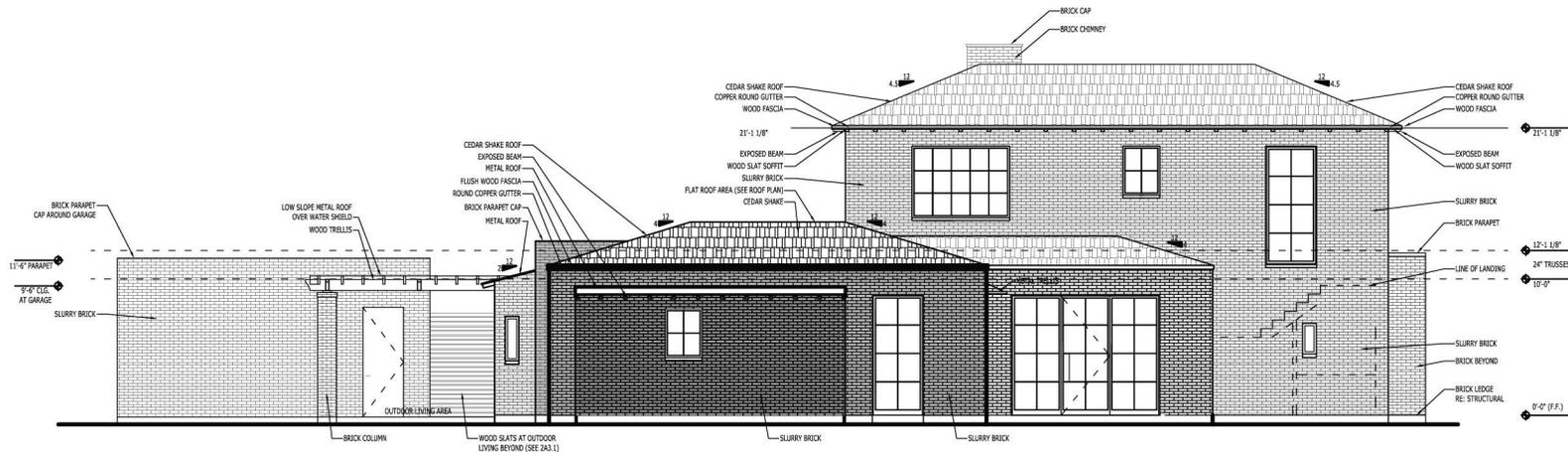
1748 NORTH BLVD.
FIRST FLOOR PLAN



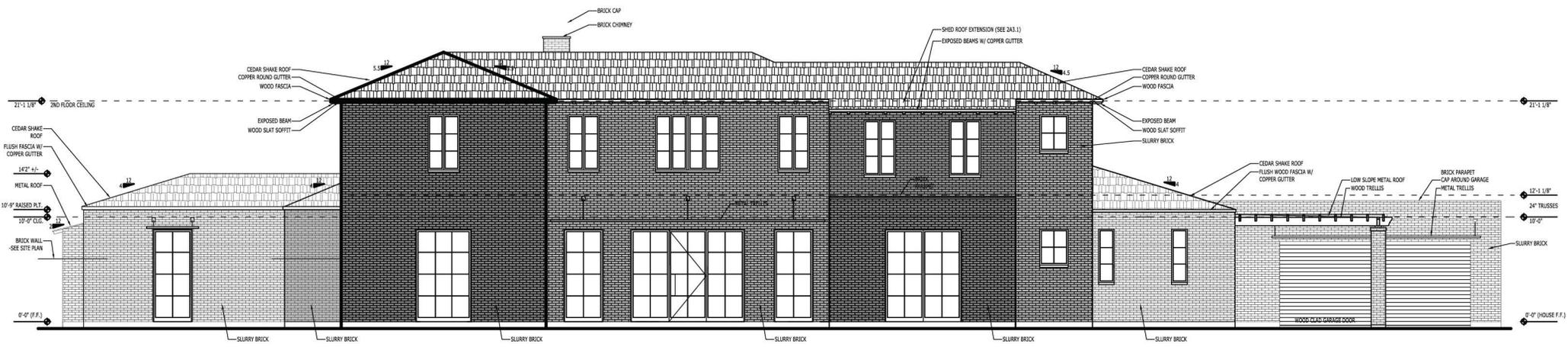
1748 NORTH BLVD.
SECOND FLOOR PLAN



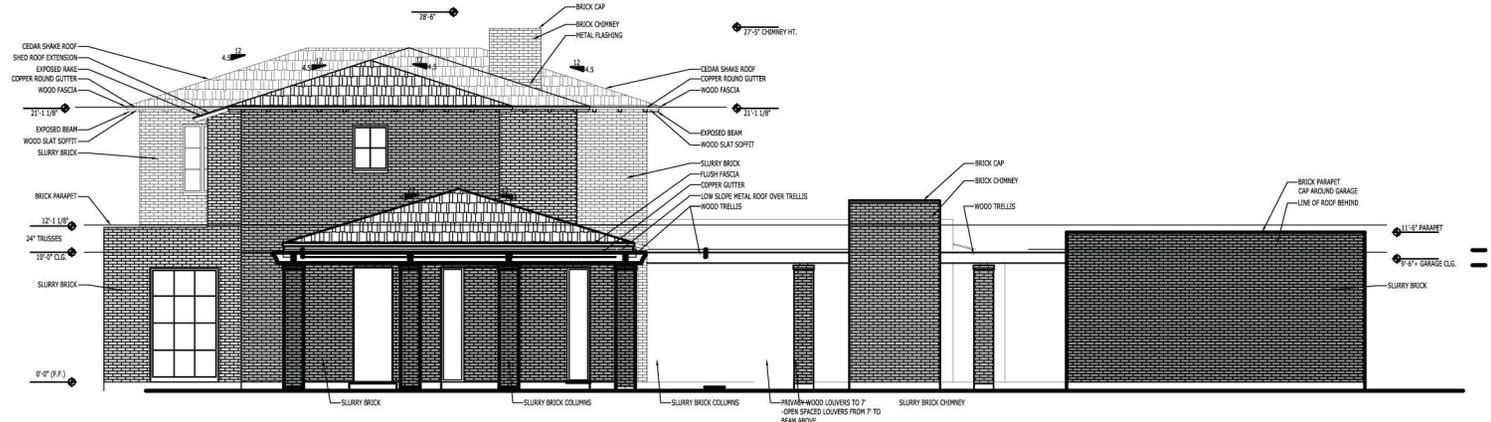
ROOF PLAN



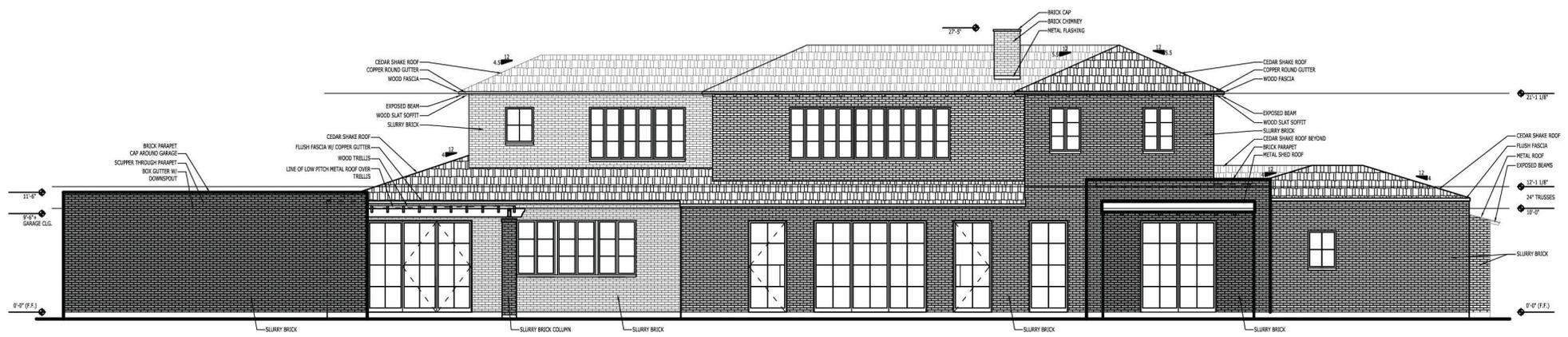
WEST ELEVATION



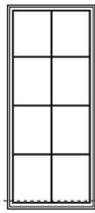
SOUTH ELEVATION (FRONT)



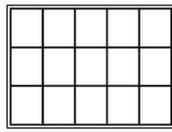
EAST ELEVATION



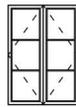
NORTH ELEVATION



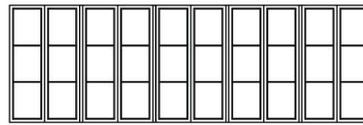
17) STAIR
FIXED



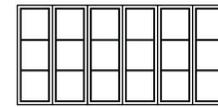
15) BEDROOM 2
FIXED



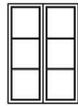
14) BEDROOM 2
CASEMENT



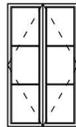
12) GAME ROOM
FIXED



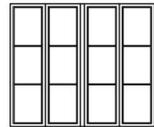
14) BEDROOM 3
FIXED



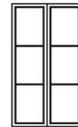
14) BATH 3
FIXED



17) 16) BEDROOM 3
CASEMENT



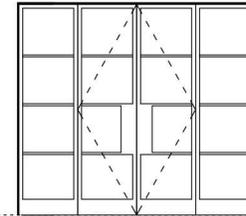
24) HALL
FIXED



13) 13) STAIR/HALL
FIXED



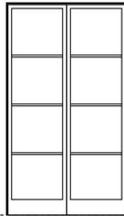
20) POWDER ROOM
FIXED



22) OFFICE
W/ (2) 2'-6" X 9'-0" FRENCH DOORS



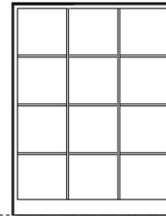
28) MASTER BATH
FIXED



27) MASTER BATH
FIXED



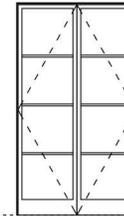
25) 25) MASTER CLOSET/BATH 3/BATH 2
FIXED



23) MASTER SITING
FIXED



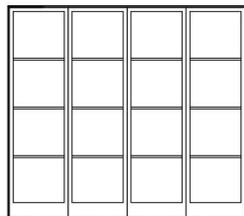
21) 22) MASTER SITING
FIXED



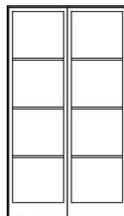
21) 21) MASTER BEDROOM
(2) 2'-6" X 9'-0" FRENCH DOORS

10'-0" CEILING

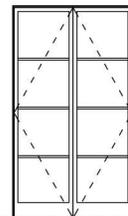
1ST FLOOR



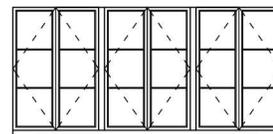
16) LIVING
FIXED



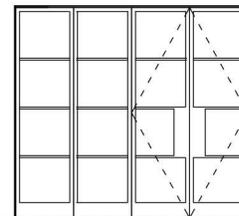
18) MASTER HALL
FIXED



17) 16) LIVING
(2) 2'-6" X 9'-0" FRENCH DOORS



15) BREAKFAST
TRIPLE CASEMENT UNIT



14) BREAKFAST
W/ (2) 2'-6" X 9'-0" FRENCH DOORS

10'-0" CEILING

1ST FLOOR



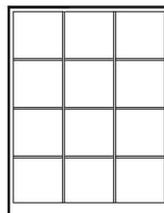
13) 12) BREAKFAST
FIXED



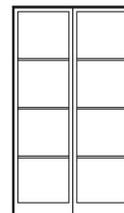
11) MUD
SWING ENTRY DOOR



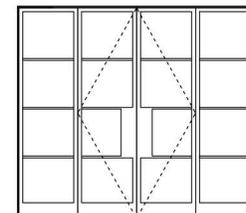
10) 10) MUD/UTILITY/CLOSET 3
FIXED



7) DINING
FIXED



5) 4) 3) 2) ENTRY/STAIR/DINING
5 UNITS TOTAL - FIXED



1) ENTRY
W/ (2) 2'-6" X 9'-0" FRENCH DOORS

10'-0" CEILING

1ST FLOOR

WINDOW NOTES

1. ALL SIZES SHOWN INDICATE FRAME UNIT DIMENSIONS. ALL DRAWINGS SHOW UNITS FROM EXTERIOR.

2. ADD 1/2" TO ALL SIDES FOR ROUGH OPENINGS (VERIFY)

3. WOOD SILL LOCATIONS TO BE VERIFIED WITH OWNER/BUILDER.

4. ALL WINDOWS TO BE CUSTOM BUILT WOOD OR METAL WINDOWS WITH 1/2" MUNTIN BARS.

5. ALL WINDOWS TO BE PAINTED LIGHT GRAY.

6. GLAZING TO BE INDIVIDUAL PANEES SET WITHIN MUNTIN FRAMES; (2) 1/4" PANEES WITH LOW E FILM BETWEEN.

7. ALL SLEEPING ROOMS SHALL HAVE AN OPERABLE ESCAPE/ RESCUE WINDOW WITH A MINIMUM CLEAR OPENING AREA OF 5.7 S.F. MAX HEIGHT 44" A.F.F. MIN. CLEAR WIDTH OPENING- 20" MIN. CLEAR HEIGHT OPENING- 24"

8. TEMPERED GLASS AS NOTED ON WINDOW SCHEDULE A5.0 AND REQ. BY CITY OF HOUSTON AND IRC SECT. 308