

CERTIFICATE OF APPROPRIATENESS

Application Date: March 25, 2016

Applicant: Ed Bullock, Curtis & Windham Architects for David & Kelley Young, owners

Property: 3311 Del Monte Drive, Lot 10, Block 8, River Oaks Country Club Estates Subdivision. The property includes a historic 8,115 square foot, two-story masonry single-family residence and a detached garage situated on a 44,172 square foot (245' x 181') corner lot.

Significance: 3311 Del Monte Drive is a City of Houston Landmark designated in December, 2015. The French Renaissance-style two-story historic residence was constructed circa 1937. Designed by celebrated Houston Architect Joseph Finger, 3311 Del Monte Drive was constructed for Judge & Mrs. J.A. Platt. Judge Platt was an important associate of oil and lumber baron James M. West.

Proposal: Alteration – Addition

Construct a 1,800 square foot addition on the back, southwest portion of the house and a 2,565 square foot two-story garage.

- Install custom shutters created from the original drawings.
- Install brick landscape walls to flank the main house.
- Replace non-original doors with new doors and windows to match existing on the first floor west wing and the rear of the house. These will not replace any original material.

See enclosed application materials and detailed project description on p. 5-22 for further details.

Public Comment: No public comment received at this time.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: Approved

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: HAHC Approval

Effective: April 21, 2016



PLANNING & DEVELOPMENT DEPARTMENT

COA valid for two years from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

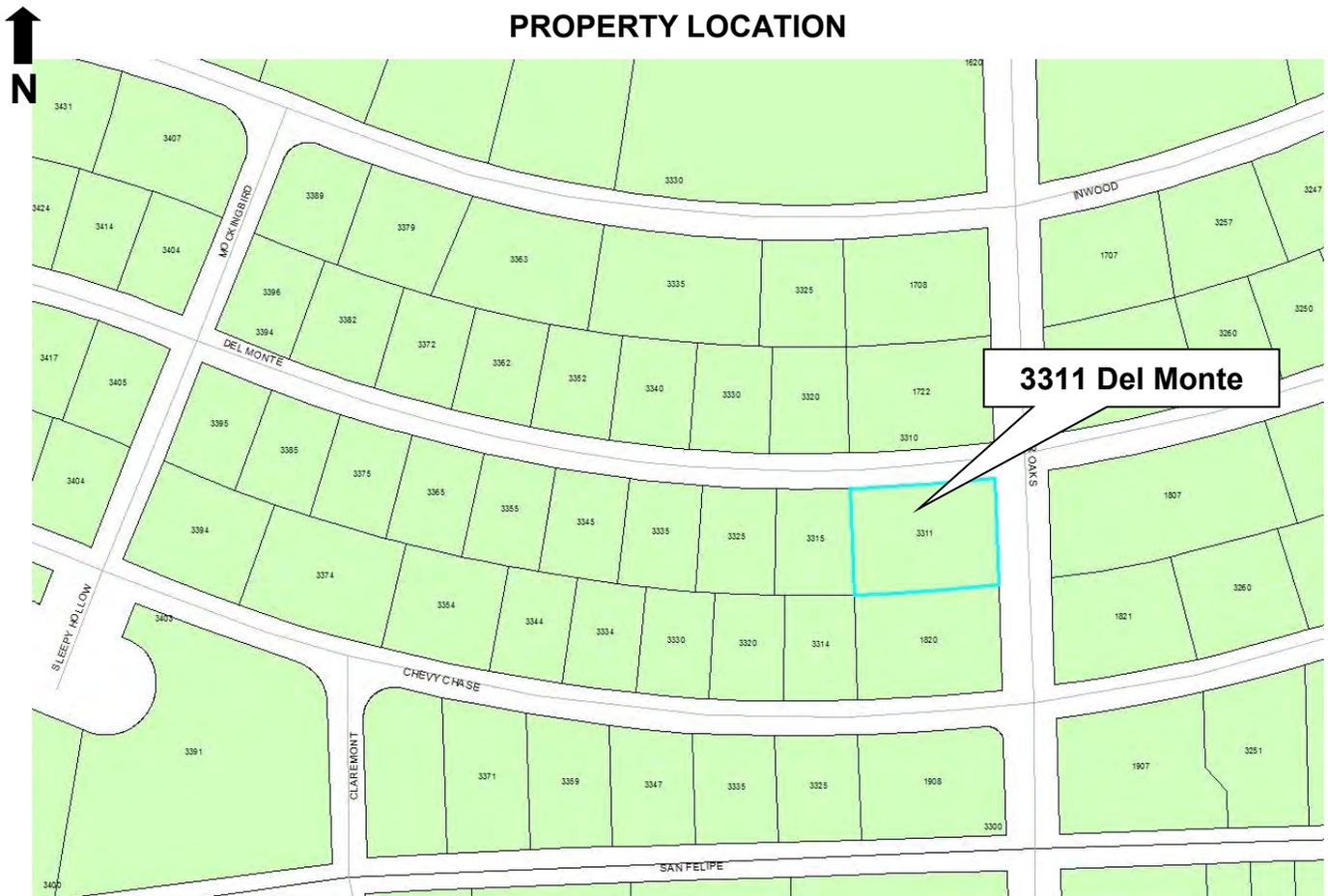
APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.



CURRENT PHOTO



NORTH ELEVATION – FRONT FACING DEL MONTE

EXISTING

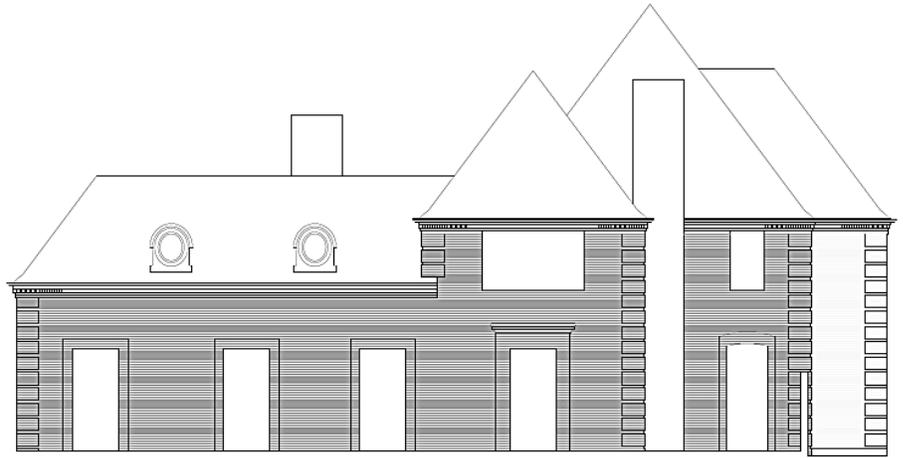


PROPOSED

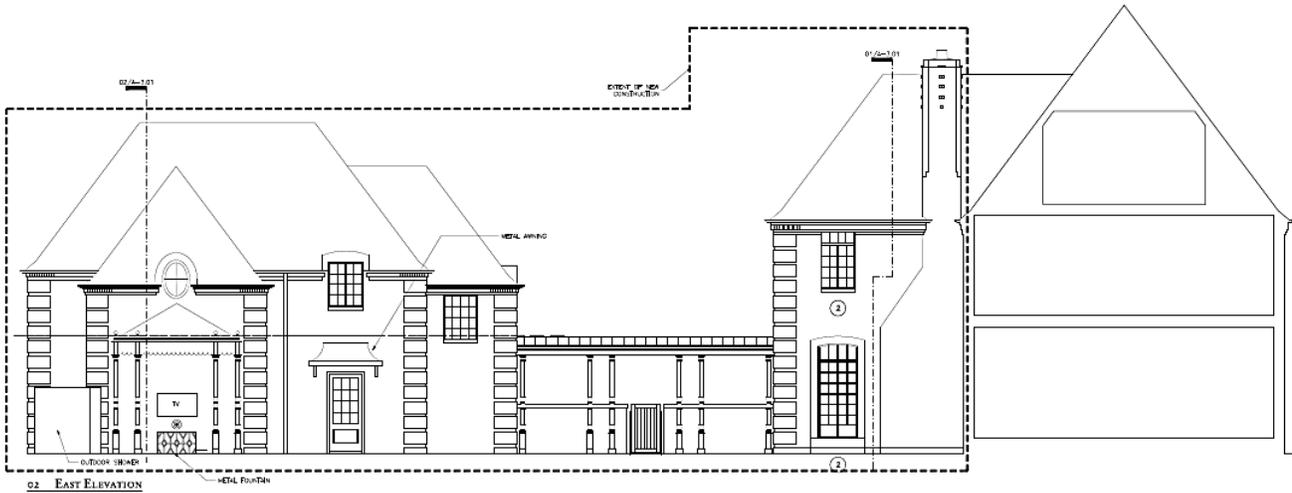


EAST SIDE ELEVATION – FACING RIVER OAKS

EXISTING



PROPOSED

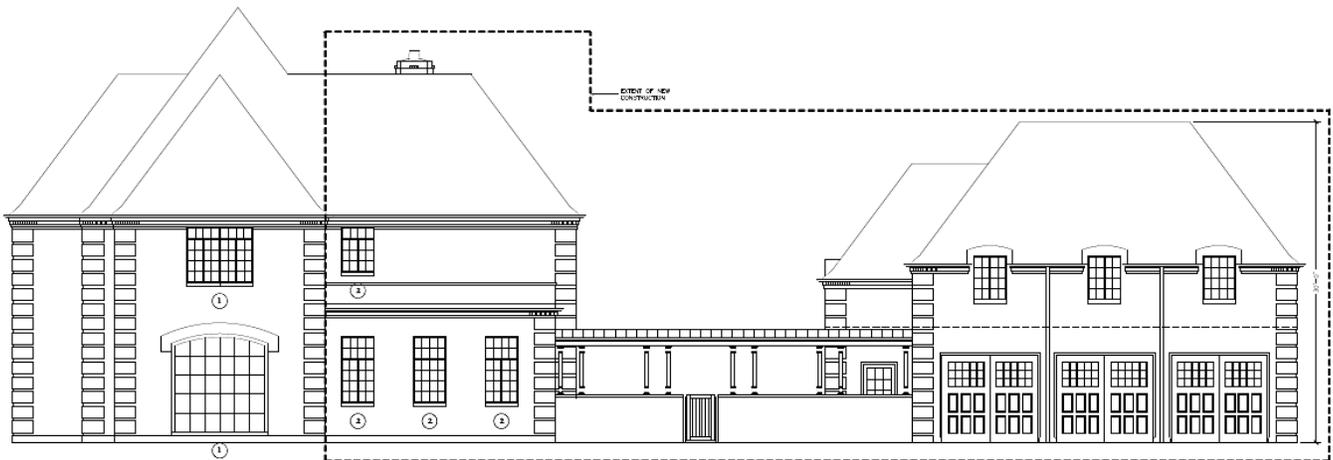


WEST SIDE ELEVATION

EXISTING

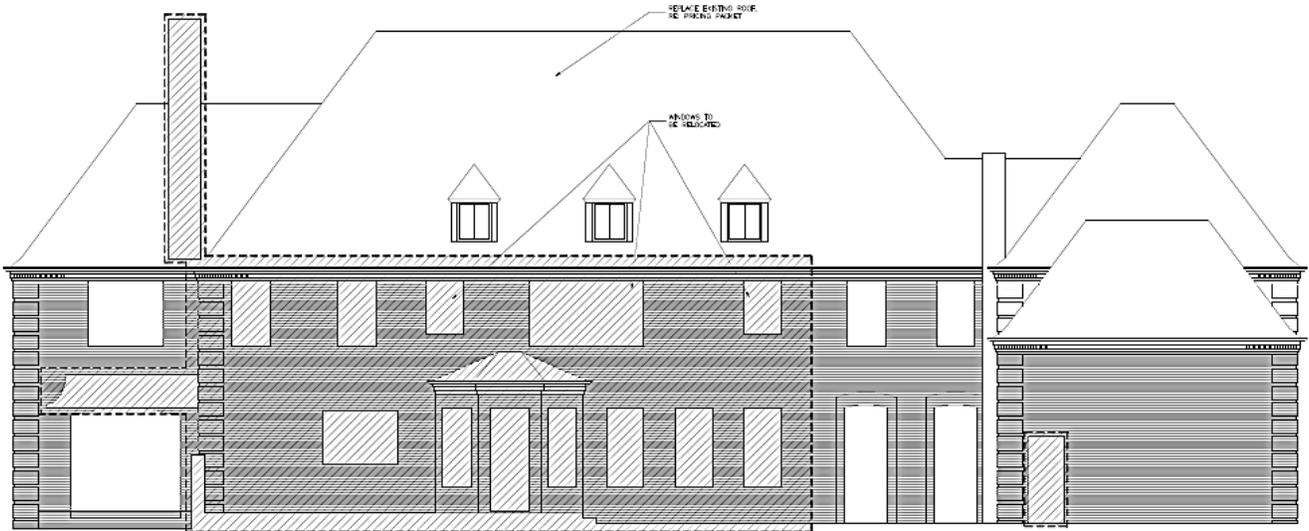


PROPOSED



SOUTH (REAR) ELEVATION

EXISTING

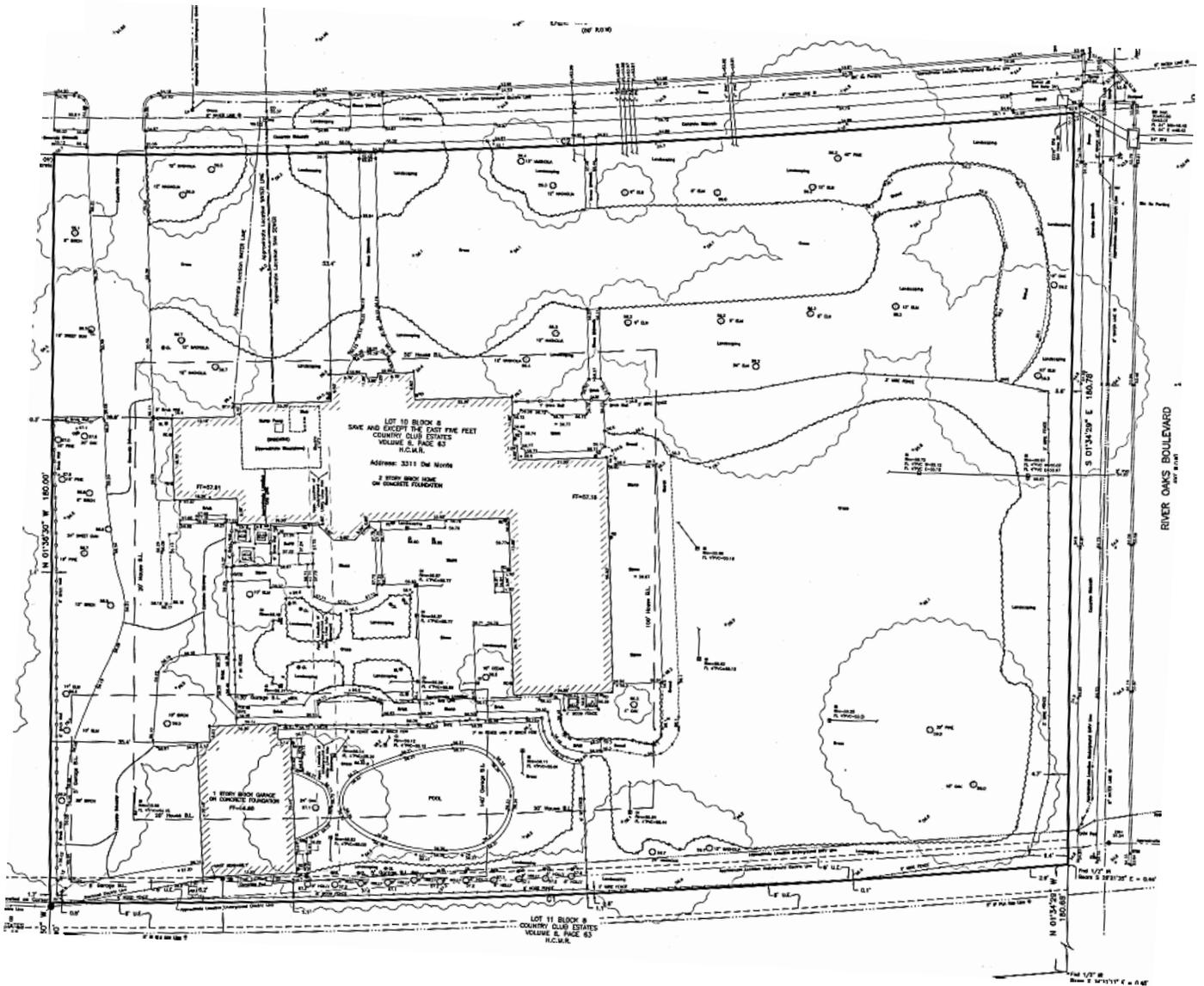


PROPOSED



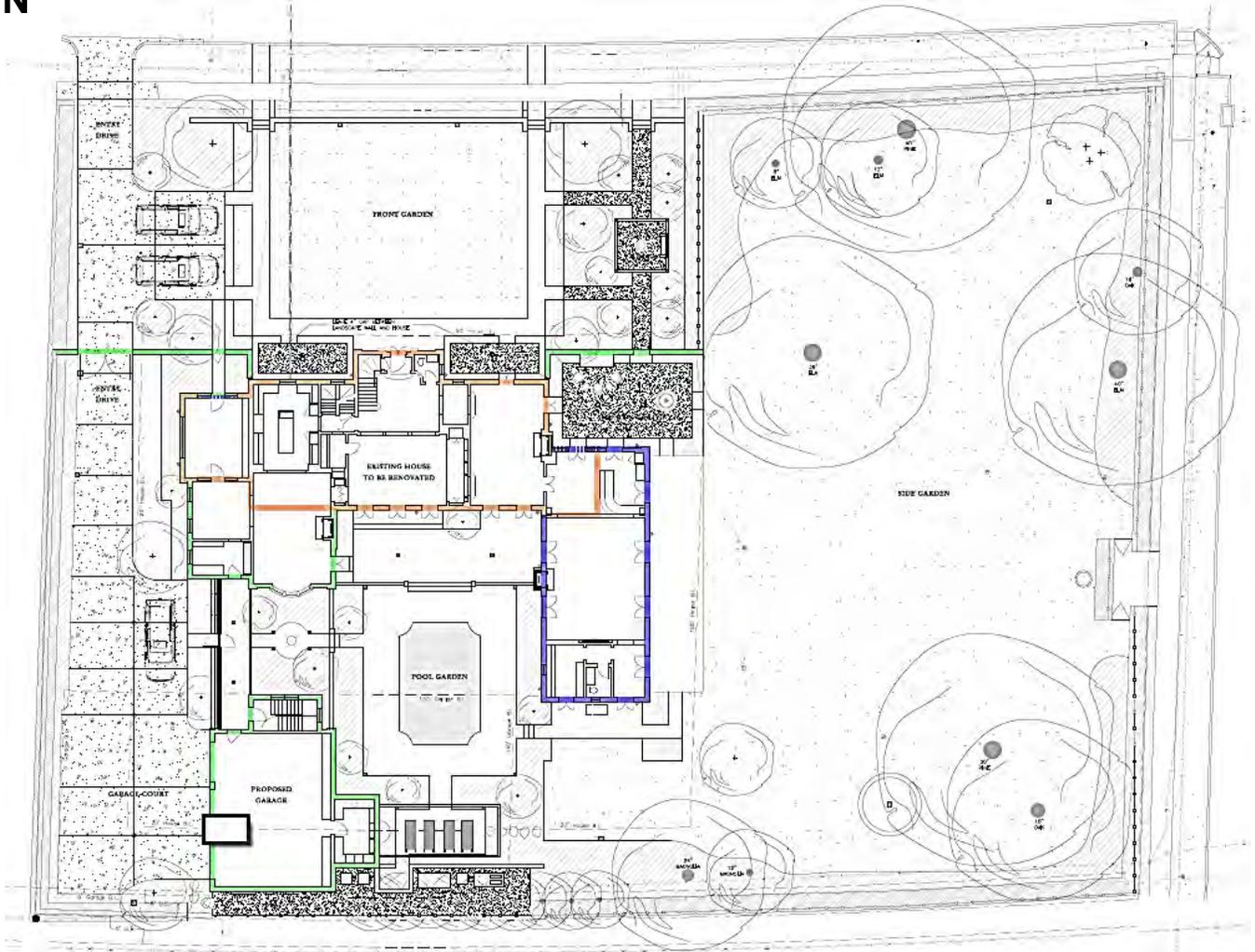


SITE PLAN
EXISTING



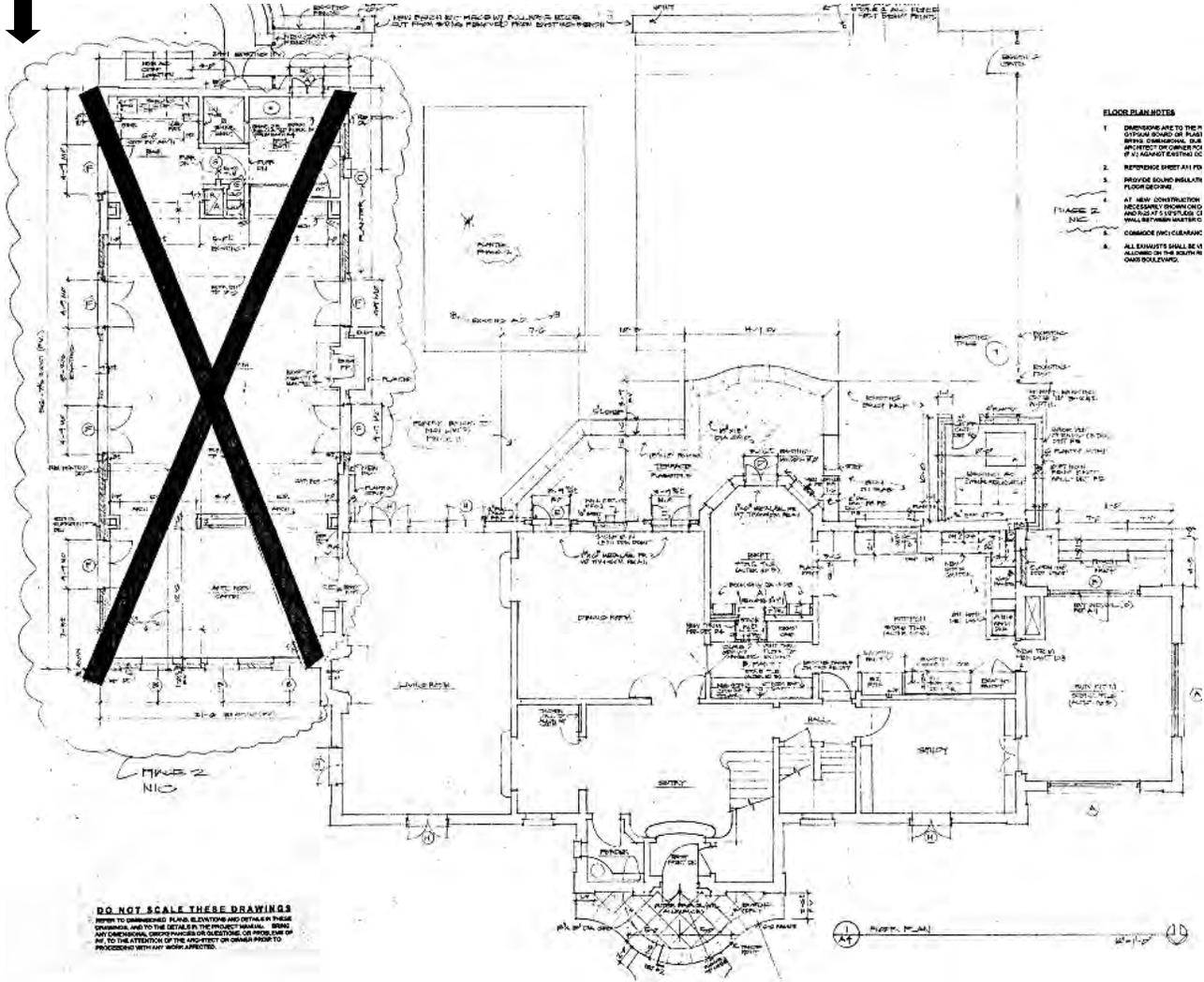


**SITE PLAN
PROPOSED**



FIRST FLOOR PLAN

EXISTING

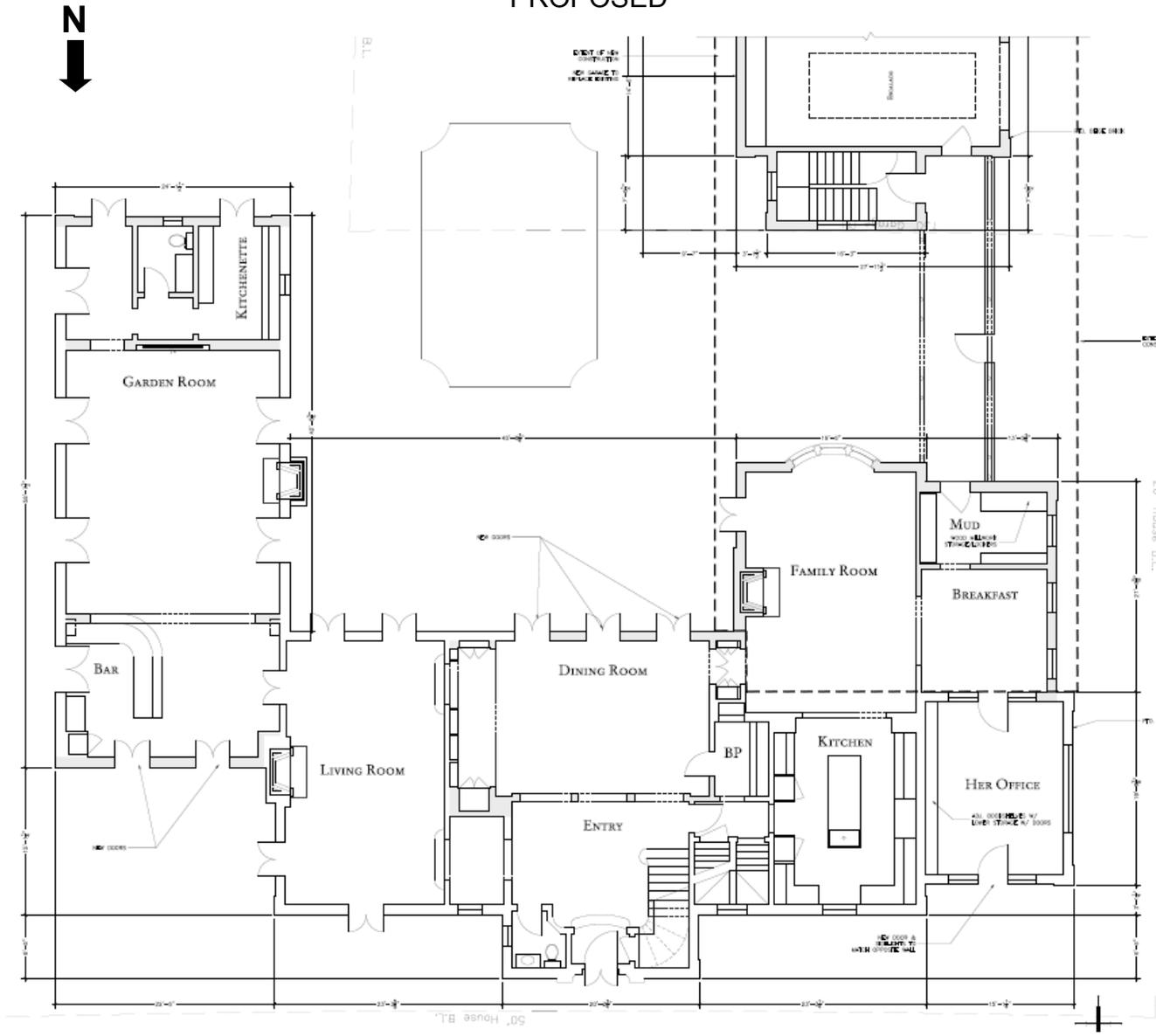


FLOOR PLAN NOTES

1. DIMENSIONS ARE TO THE SYSTEM BOARD OR PLUMB BIRTH DIMENSIONS, SEE ARCHITECT OF CONSTRUCTION FOR ALL MARKET EXTERIOR.
2. REFERENCE SHEET A11 FD.
3. PROVIDE SOUND INSULATION FLOORING.
4. AT NEW CONSTRUCTION, NECESSARY BRACING AND ANCHORS SHALL BE WITHIN MASTER PLAN.
5. CORRIDOR FLOOR CLEARANCE.
6. ALL DIMENSIONS SHALL BE ALLOWED IN THE SOUTH IN CASE BOLLING.

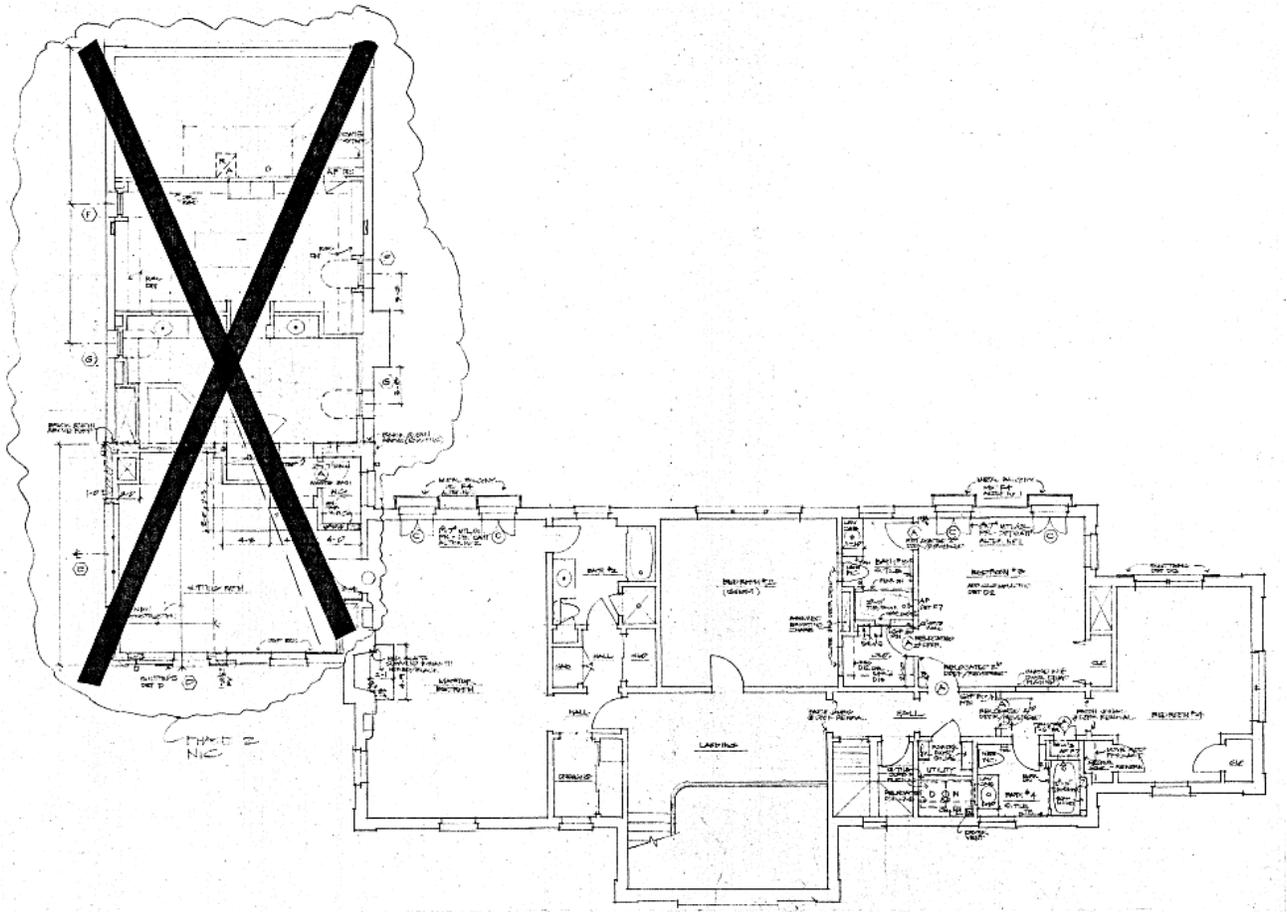
DO NOT SCALE THESE DRAWINGS
 REFER TO DIMENSIONS, PLANS, ELEVATIONS AND DETAILS IN THESE DRAWINGS AND TO THE DETAILS IN THE PROJECT MANUAL. BEING ANY DIMENSIONS, CHECK THESE IN RELATION TO THE PLAN OR TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO PROCEEDING WITH ANY WORK.

FIRST FLOOR PLAN PROPOSED

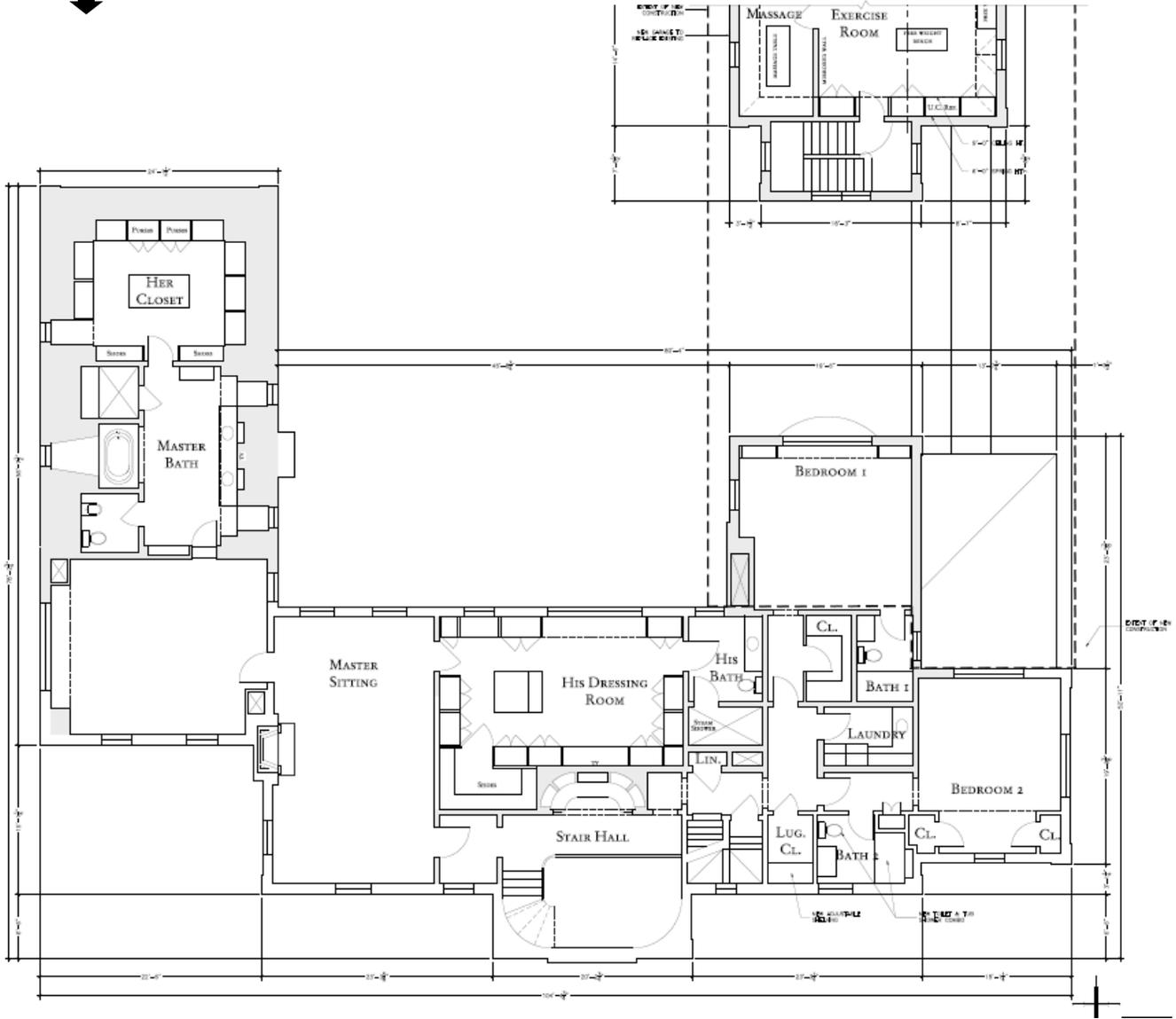


SECOND FLOOR PLAN

EXISTING

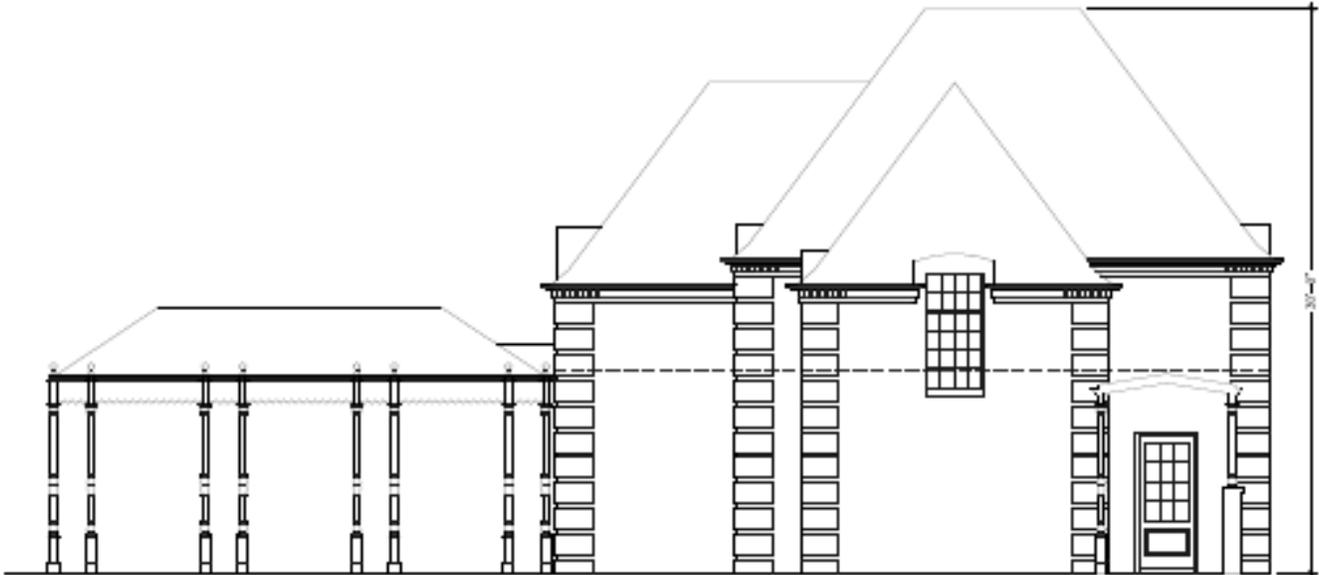


**SECOND FLOOR PLAN
PROPOSED**



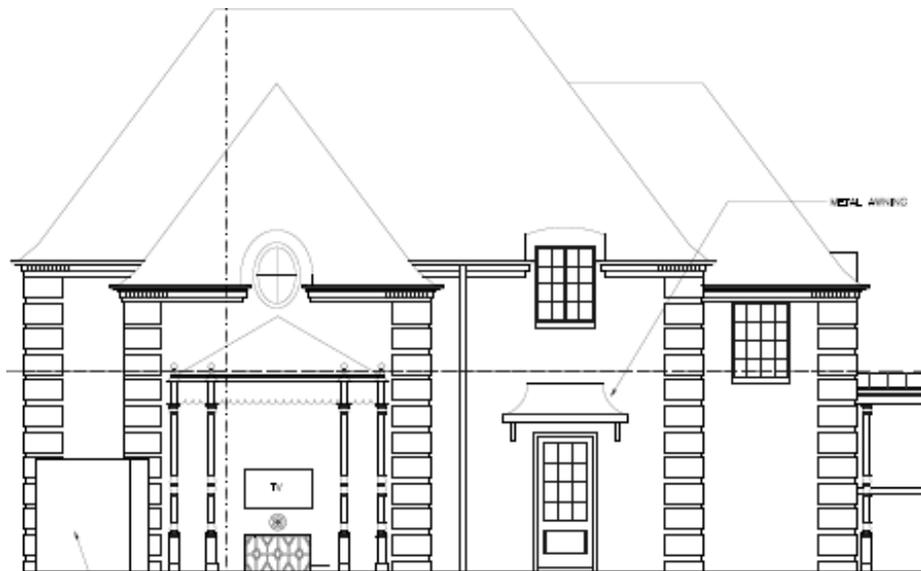
PROPOSED GARAGE NORTH ELEVATION – SIDE FACING DEL MONTE

PROPOSED

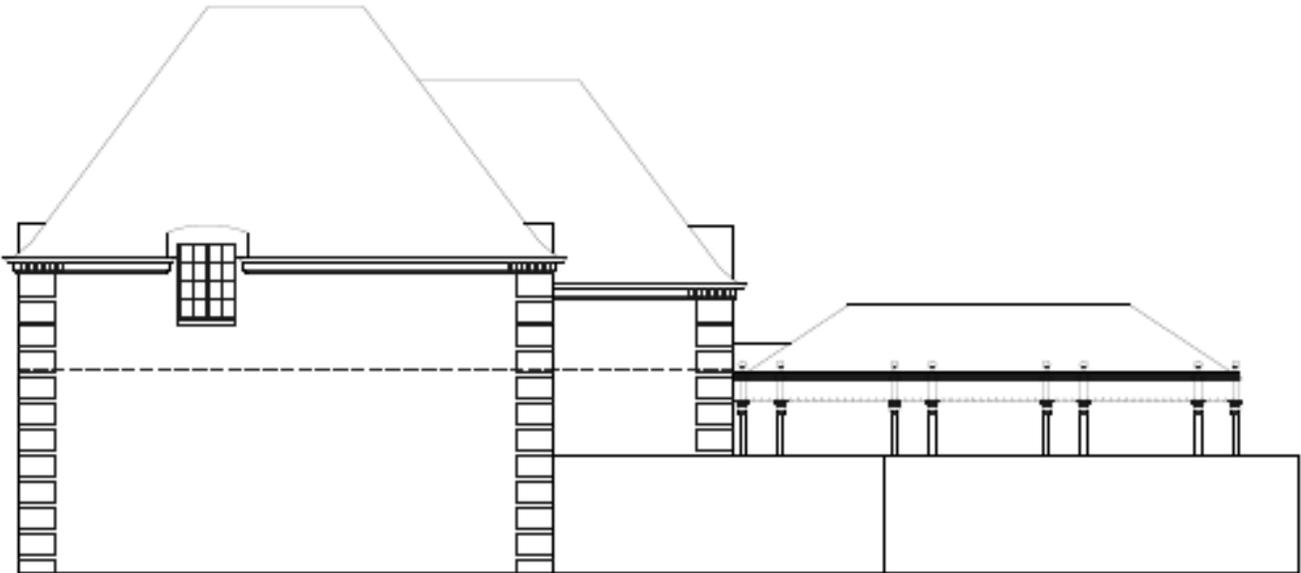


PROPOSED GARAGE EAST ELEVATION – SIDE FACING RIVER OAKS BOULEVARD

PROPOSED



PROPOSED GARAGE SOUTH ELEVATION



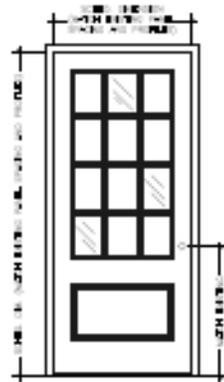
PROPOSED GARAGE WEST (FRONT) ELEVATION

PROPOSED



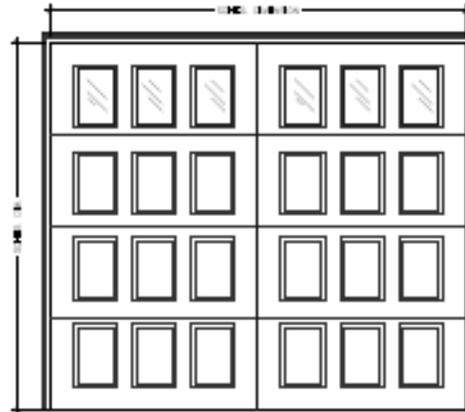
WINDOW / DOOR SCHEDULE

DOORS



WOOD DOOR & LEAD INSULATED SAFETY GLASS

TYPE B



WOOD ONE-HEAD DOOR WITH LEAD INSULATED GLASS

TYPE A

EXTERIOR DOOR SCHEDULE

REF. NO.	LOCATION	ORIENTATION	DOOR						FRAME			LOCATION	REF. NO.	CODE TYPE	REMARKS
			TYPE	SIZE	MATERIAL	FINISH	GLAZING	LEAD WEIGHT	INSULATION	FINISH					
101	W-101	1-11 1/2' x 6' 6"	A	3'-0" x 6'-0"	WOOD	-4-T	L-40	1-P	E-4	-4-T	W-101	101	W-101		
102	W-102	1-11 1/2' x 6' 6"		3'-0" x 6'-0"	WOOD	-4-T	L-40	1-P	E-4	-4-T	W-102	102	W-102		
103	W-103	1-11 1/2' x 6' 6"		3'-0" x 6'-0"	WOOD	-4-T	L-40	1-P	E-4	-4-T	W-103	103	W-103		
104	W-104	1-11 1/2' x 6' 6"	B	3'-0" x 6'-0" x 1'-0"	WOOD	-4-T	L-40	1-P	E-4	-4-T	W-104	104	W-104	1-P L-E	
105	W-105	1-11 1/2' x 6' 6"		3'-0" x 6'-0" x 1'-0"	WOOD	-4-T	L-40	1-P	E-4	-4-T	W-105	105	W-105	1-P L-E	
106	W-106	1-11 1/2' x 6' 6"		3'-0" x 6'-0" x 1'-0"	WOOD	-4-T	L-40	1-P	E-4	-4-T	W-106	106	W-106	1-P L-E	

GENERAL NOTES

1. All exterior wood doors are to be Grade 1B U.S.D.
2. All exterior doors to be tempered safety glass.
3. All door details, swings, and hardware to match existing U.S.D.

APPLICANT WRITTEN DESCRIPTION

To: City of Houston Planning & Development Department

Re: Proposed additions and renovations to existing residence at 3311 Del Monte Drive

SITE

The site is Tract 10, Block 8, River Oaks Country Club Estates, City of Houston, Harris County Texas, at the intersection of Del Monte Drive and River Oaks Boulevard. The property is an existing French Renaissance styled two and a half story house with a detached 2 story garage. The House is a painted brick veneer structure, with single-glazed steel divided lite doors and windows, and composition shingle roof. The original 7,347 square foot house was built in 1936-1937 and is in excellent condition. The house is a Designated Landmark by the City of Houston.

EXISTING ALTERATIONS

- The original porte cochere on the west side was enclosed at some point to create a room with single-glazed wood divided lite doors and windows infilling the arched openings of the original porte cochere.
- A master bedroom and garden room wing of substantial size was added in the 1970's on the east end of the house. This replaces and greatly expands upon a small wing containing a porch and nursery room above that was drawn on the original plans from 1936.
- Louvered shutters that were shown on the front of the house in the original plans and a photograph from 1980 have been removed.

PROPOSED ALTERATIONS

- Custom wood shutters to match original drawings, the 1980 photograph (and one remaining shutter on the east end of the house) are proposed on the front elevation on the north side of the house.
- Painted brick landscape walls are proposed in the front yard to flank the main body of the house to enhance the formality and symmetry of the entry facing the street. These walls will be detached from the house and screen views of the altered east and west ends of the house.
- New steel divided lite doors and windows are proposed to match existing at the west wing first floor behind the landscape wall at the front street side of the house and on alterations on the back side of the house. These do not replace original windows or doors.
- The rear, south facing facade is proposed to be altered and a new 1,800 square foot addition is proposed on the back, south-west portion of the house.
- The existing two story garage is proposed to be demolished and replaced with a new, slightly larger two story garage matching the materials and style of the house and existing garage.
- The new covered walkway connecting the garage to the house and a pavilion adjoining the garage is proposed to have metal detailing based on French precedent.

NEW EXTERIOR MATERIALS

- Painted brick walls – details, brick and joint dimensions to match existing.
- Composition shingles at roof to replace existing.
- Steel framed divided lite windows and doors having gasketed glazing stops with sight lines matching existing single pane putty glazed windows and doors: Single glazed on existing structure. Double glazed steel windows and doors will be proposed where required by energy code on addition and new construction.
- Wood single glazed divided lite door and sidelights custom fabricated to match existing single glazed divided lite door and sidelights where noted on elevations.

PROJECT DETAILS

Shape/Mass: The existing residence has a maximum width of 104'-4" and a maximum depth of 78'-2". The existing residence has a ridge height of 37'-11".

An addition to the southwest, rear corner of the home will not increase the maximum depth of the structure.

The proposed garage will replace an existing structure, and has a maximum width of 37'-6" and a maximum depth of 43'-6". The ridge height for the proposed garage is 30'-0".

Setbacks: The existing residence has a front (north) setback of 53'-5"; a west setback of 28'-6"; an east setback of 109'-11"; and a south (rear) setback of 48'-0". See drawings for more detail.

The proposed garage has a west setback of 37'-6" and a south setback of 6'-0".

Foundation: The existing structure has a slab on grade foundation. The proposed addition and garage will also have a slab on grade foundation. See drawings for more detail.

Windows/Doors: The proposed residence addition and proposed garage feature steel divided lite windows with gasketed glazing stops with sight lines matching existing single pane putty glazed windows and doors. Single glazing on existing structure. Double glazed steel windows and doors will be proposed where required by energy code on addition and new construction. All original windows and doors will remain. Louvered shutters to match original drawings will be fabricated and installed. A wood single glazed divided lite door and sidelites will be fabricated to match the existing single glazed divided lite door and sidelites where noted on elevations.

Exterior Materials: The existing residence is painted brick veneer over frame. The proposed addition and garage will be clad in painted brick to match existing.

Roof: The existing residence has a 9:12 pitch with an existing eave height of 20'-9" and a ridge height of 41'-0". The proposed addition has an eave height of 21'-3" and a ridge height of 37'-11". The proposed garage has an eave height of 16'-8" and a ridge height of 30'-0".

Front Elevation: The existing front elevation features five bays in a C B A B C formation. The central 'A' bay features the front entry. A front entry door is located on the first story. On the second story a pair of French doors open to a wrought iron balcony. The 'B' bays each feature a full length window on the first story and a single window immediately above on the second story. The west 'B' bay features three windows near the central 'A' bay following the staircase inside. The east 'B' bay features an additional two windows, one on the first story and the other on the second, near the 'A' bay. Both 'B' bays have a single, front gable dormer located on the roof with double casement windows. The 'C' bays are identical opening location, though the west bay features full length, single pane glass doors that fill the original porte cochere opening. An identical width opening is located on the east bay, but is a window.

The proposed alterations to the front of the existing residence includes installing custom wood louvered shutters constructed from original drawings to replace the original shutters that were removed sometime before 1980, as evidenced by original drawings and a photograph. New landscape walls are proposed to flank the main body of the house in order to create additional symmetry and screen views of the altered wings of the house. New steel divided lite doors and windows are proposed to match existing at the west wing behind the landscape wall at the location of the original porte cochere. These doors and windows do not replace any original material.

The proposed garage features a pair of casement windows set between the wall and the mansard roof. A door is located to the west with a metal awning. To the east is the profile of the metal pavilion structure attached to the east elevation of the façade.

Side Elevation: The existing east elevation features a side profile of the 'B' and 'A' bays. An addition from the

(East) 1970's expanded upon the original wing of a nursery and porch into the present massing. To the north on the first story is a pair of French doors with a transom and a stone surround. The second story features a set of three double casement windows with transoms. The 1970's bay includes three sets of French doors with transoms and brick surrounds. Two oval dormers are present on the roof of the addition.

The proposed alterations are interior and do not change the existing elevation.

The proposed garage elevation features a protruding front bay that straddles the southern two bays of the main structure. A metal pavilion is attached to the front bay. The third, north bay of the main structure features an entry door with metal awning on the first floor. The second story features a pair of casement windows set between the wall and the mansard roof. An outdoor shower is located at the south end of the elevation. The profile of the northern entry features a pair of casement windows on the second story. The profile of the walkway connecting the proposed garage to the house is present to the north.

Side Elevation: The existing west elevation features three non-original casement windows with transoms on the first story. The second story features two casement windows. The window to the south features louvered shutters original to the house. A previously constructed addition includes a large window on the first story and second story window with shutters.

(West)

The proposed alterations to the west elevation include constructing an addition on top of a prior addition. The first story of the proposed addition will feature three sets of casement windows with transoms similar to the original windows. The second story of the proposed addition will feature a one set of casement windows to match existing.

The proposed garage features three identical bays. Each bay includes a pair of paneled garage doors with 18 lites. The second story features a pair of casement windows set between the wall and the mansard roof. A covered walkway connects the proposed garage to the proposed residence addition. It is supported by columns atop a half-height masonry wall. A gate is located at the midpoint of the walkway.

Rear Elevation: The rear elevation of the residence and addition is not visible from the public right-of-way. See drawings for more detail.

(South)

The rear elevation of the proposed garage is not visible from the public right-of-way. See drawings for more detail.